

**New Hampshire Department of
Environmental Services**

Shoreland Permit Application

Eversource Energy Greggs Substation Rebuild

**Tax Map 5 Lot 15
39 Mast Road
Goffstown, NH 03045**

Prepared On:

January 21, 2026

Prepared for:

Eversource Energy
13 Legends Drive
Hooksett, NH 03106

TFM Job Number:

17752-05



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Eversource Energy
Greggs Substation Rebuild
39 Mast Road, Goffstown, NH 03045
January 21, 2026

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Shoreland Permit Application

Water Division / Wetlands Bureau

Land Resources Management Program

[Check the status of your application](#)



RSA / Rule: RSA 483-B, Env-Wq 1400

Administrative Use Only	Administrative Use Only	Administrative Use Only	File No.:
			Check No.:
			Amount:
			Initials:

This is a permit application to excavate, fill, construct new structures or remove structures within the protected shoreland.

SECTION 1 - PROJECT DESCRIPTION (Env-Wq 1406.07) <i>Please concisely describe your proposed project.</i>			
SECTION 2 - PROJECT LOCATION (Env-Wq 1406.07)			
Address:	Town or city:	State: NH	ZIP:
Waterbody name:	Tax map / block / lot number:		
SECTION 3 - PROPERTY OWNER AND DEED INFORMATION (Env-Wq 1406.07)			
<i>The legal name of each property owner must be as it appears on the deed of record. If the owner is a trust or a company, write the name of the trust or company as the owner's name.</i>			
Last name, first name, middle initial:			
Mailing address:	Town or city:	State:	ZIP:
Phone:	Email, if available:		
Registry of deed county, book number, page number:			
SECTION 4 - APPLICANT (DESIRED PERMIT HOLDER), IF DIFFERENT THAN OWNER (Env-Wq 1406.07)			
<i>If the applicant is a trust or a company, write the name of the trust or company as the applicant's name. If the applicant is the owner, please leave blank and check the following box: <input type="checkbox"/>.</i>			
Last name, first name, middle initial:			
Mailing address:	Town or city:	State:	ZIP:
Phone:	Email, if available:		
SECTION 5 - CONTRACTOR OR AGENT (OPTIONAL)			
Last name, first name, middle initial:			
Address:	Town or city:	State:	ZIP:
Phone:	Email, if available:		

Section 6 - CRITERIA (Env-Wq 1406.07) Please check at least one of the following boxes.

- This shoreland permit application requires neither a proposal to make the property more nearly conforming nor a request for a waiver of a minimum standard.
- This shoreland permit application includes a proposal to make the structures and/or the property [more nearly conforming](#) in accordance with RSA 483-B:11.
- This shoreland permit application includes a [request for a waiver](#) of the following minimum standard(s): RSA 483-B:9, V.

SECTION 7 - RELATED PERMIT APPLICATIONS ASSOCIATED WITH THIS PROJECT (Env-Wq 1406.14)

Please indicate if you also require the following permits. If so, confirm the status of your permit application.

Permit Type	Permit Required	File Number	Permit Application Status
Alteration of Terrain per RSA 485-A:17	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Approved <input type="checkbox"/> Pending <input type="checkbox"/> Denied
Individual Sewerage Disposal per RSA 485-A:29	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Approved <input type="checkbox"/> Pending <input type="checkbox"/> Denied
Subdivision Approval per RSA 485-A:29	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Approved <input type="checkbox"/> Pending <input type="checkbox"/> Denied
Wetlands Permit per RSA 482-A	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Approved <input type="checkbox"/> Pending <input type="checkbox"/> Denied

SECTION 8 - REFERENCE LINE ELEVATION (Env-Wq 1406.07)

Required for projects located within the protected shoreland. The reference line elevations for most lakes, ponds, and artificial impoundments greater than 10 acres in size are listed in the Consolidated List of Waterbodies Subject to the Shoreland Water Quality Protection Act. Please see RSA 483-B:4, XVII for the definition of reference line.

Reference line elevation (feet above sea level):

SECTION 9 - APPLICATION FEE AND SUBMITTAL (RSA 483-B:5-b, I(b); RSA 483-B:5-b, X)

A nonrefundable permit application fee of \$200 plus \$0.20 per total square feet of impact for restoration of water quality improvement projects, or \$400 plus \$0.20 per total square feet of impact for all other projects is required at the time the application is submitted. Applications for projects solely funded by municipal, county, state, or federal entities shall incur a permitting fee no greater than \$3,750.

Please upload, mail or hand deliver this application and all required attachments to the NHDES Wetlands Bureau. Missing information may delay your application and/or result in denial. If filing offline, please make checks payable to the Treasurer, State of New Hampshire.

SECTION 10 - CALCULATE TOTAL IMPACT AREA / PERMIT APPLICATION FEE (RSA 483-B:5-b, I(b); RSA 483-B:5-b, X)		
<i>Calculate all areas proposed to be disturbed by regrading, excavating, filling, construction or structure removal. These may include but are not limited to new driveways, new structures, areas disturbed when installing septic systems and foundations, creating temporary access roads to drill a new well and regrading associated with landscaping activities.</i>		
Total proposed area impacted within the protected shoreland (A), in square feet:		
<ul style="list-style-type: none"> For water quality restoration or improvement projects, multiply (A) by \$0.20 and add \$200. 		
[(A) × \$0.20] + \$200 = (permit application fee*) =		
<ul style="list-style-type: none"> For all other projects, multiply (A) by \$0.20 and add \$400. 		
[(A) × \$0.20 + \$400] =		
SECTION 11 - REQUIRED CERTIFICATIONS (Env-Wq 1406.08; Env-Wq 1406.10(a)) Please initial and sign below.		
Initials:	The information provided is true, complete, and not misleading to my knowledge and belief.	
Initials:	I understand that: <ul style="list-style-type: none"> Any permit or waiver granted based on false, incomplete, or misleading information shall be subject to revocation. I am subject to applicable penalties in RSA 641 for falsification in official matters. Obtaining a shoreland permit shall not exempt the work proposed from other state, local, or federal approvals. 	
Initials:	I have notified the governing body of the municipality or municipalities in which the property is located by certified mail, in accordance with Env-Wq 1406.13.	
Initials:	I have notified all abutters** of the proposed impacts via certified mail, in accordance with Env-Wq 1406.13.	
Initials:	<input type="checkbox"/> This project is within one-quarter mile of a designated river, and I have provided the Local River Management Advisory Committee (LAC) with a copy of my complete application, including all supporting materials, via certified mail, in accordance with Env-Wq 1406.13. <input type="checkbox"/> This project is <i>not</i> within one-quarter mile of a designated river.	
Initials:	For any project proposing that the impervious area be at least 15% but not more than 20% within the protected shoreland, I certify that the impervious area is not more than 20%. <input type="checkbox"/> N/A	
SECTION 12 - REQUIRED SIGNATURES (Env-Wq 1406.08)		
Both the property owner and applicant must sign.		
Signature (owner): 	Print name legibly:	Date:
Signature (applicant, if different from owner): 	Print name legibly:	Date:

*Projects solely funded by municipal, county, state, or federal entities shall incur a permit application fee no greater than \$3,750.

**"Abutter" means any person who owns property immediately contiguous to the property on which the proposed work will take place, or who owns flowage rights on such property. The term does not include properties separated by a public road or located more than ¼ mile from the limits of the proposed work. If contiguous properties are owned by the person who is proposing the work, then the term includes the person owning the next contiguous property, subject to the ¼ mile limitation.

SHORELAND PERMIT APPLICATION WORKSHEET

Please include this worksheet with your permit application. Include a separate worksheet for each individual lot of record where impacts are proposed. "Pre-construction impervious surface area"¹ means all human-made impervious surfaces² currently present within the protected shoreland of a lot, whether to be removed or to remain after the project is completed. "Post-construction impervious area" means all impervious surfaces that will exist within the protected shoreland of a lot upon completion of the project, including both new and any remaining pre-construction impervious surfaces. All answers must be in square feet.

CALCULATING IMPERVIOUS AREA

CALCULATING THE IMPERVIOUS AREA OF A LOT WITHIN 250 FEET OF THE REFERENCE LINE (Env-Wq 1406.12)			
	STRUCTURE DESCRIPTION	PRE-CONSTRUCTION IMPERVIOUS AREAS, IN SQUARE FEET	POST-CONSTRUCTION IMPERVIOUS AREAS, IN SQUARE FEET
PRIMARY STRUCTURE(S) House and all attached decks and porches.			
ACCESSORY STRUCTURES All other impervious surfaces excluding lawn furniture, well heads, and fences. Common accessory structures may include driveways, walkways, patios and sheds.			
TOTAL:		(A)	(B)
Area of the lot located within 250 feet of reference line, in square feet:			(C)
Percentage of lot covered by pre-construction impervious area within 250 feet of the reference line: <i>[divide (A) by (C) x 100]</i>			(D) %
Percentage of lot to be covered by post-construction impervious area within 250 feet of the reference line upon completion of the project: <i>[divide (B) by (C) x 100]</i>			(E) %

¹ "Impervious surface area" as defined in Env-Wq 1402.13 means, for purposes of the impervious surface limitation specified in RSA 483-B:9, V(g), the total footprint of each impervious surface that is located within the protected shoreland.

² "Impervious surface" as defined in RSA 483-B:4, VII-b means any modified surface that cannot effectively absorb or infiltrate water. Examples may include roofs, and unless designed to effectively absorb or infiltrate water, decks, patios, and paved, gravel, or crushed stone driveways, parking areas, and walkways.

STORMWATER MANAGEMENT REQUIREMENTS

IMPERVIOUS AREA THRESHOLDS (RSA 483-B:9, V(g))	
<input type="checkbox"/>	A net decrease or no net increase in impervious area is proposed (If [E] is less than or equal to [D]).
<input type="checkbox"/>	The percentage of post-construction impervious area (E) is less than or equal to 20%. This project does not require a stormwater management plan and does not require a plan demonstrating that each waterfront buffer grid segment at least meets the minimum required tree and sapling point score.
<input type="checkbox"/>	A net increase in impervious area is proposed, and the percentage of post-construction impervious area (E) is greater than 20%, but less than 30%. This project <i>requires</i> a stormwater management but <i>does not</i> require a plan demonstrating that each waterfront buffer grid segment at least meets the minimum required tree and sapling point score.
<input type="checkbox"/>	A net increase in impervious area is proposed, and the percentage of post-construction impervious area (E) is greater than 30%. This project <i>requires</i> a stormwater management plan designed and certified by a professional engineer and <i>requires</i> plans demonstrating that each waterfront buffer grid segment meets at least the minimum required tree and sapling point score.

NATURAL WOODLAND AREA REQUIREMENTS

DETERMINE THE AREA TO REMAIN AS NATURAL WOODLAND	
Total area of the lot, in square feet, between 50 feet and 150 feet of the reference line, within which the vegetation currently exists as natural woodland ³ (<i>see definition below</i>).	(F)
Total area of the lot, in square feet, between 50 feet and 150 feet from the reference line.	(G)
At least 25% of area (G) must remain in as natural woodland. $[0.25 \times G]$	(H)
Enter the lesser of area (F) and calculation (H) on this line, in square feet. To comply with the <i>natural woodland area requirement</i> , this is the minimum area that must remain as natural woodland between 50-150 feet from the reference line. This area must be represented on all plans, and this area, exclusive of existing lawn, must remain in an unaltered state ⁴ .	(I)
Name of person who prepared this worksheet:	
Name and date of the plan associated with this worksheet:	

³ “**Natural woodland**” means a forested area consisting of various species of trees, saplings, shrubs, and ground covers in any combination and at any stage of growth (483-B:4, XI).

⁴ “**Unaltered state**” means native vegetation allowed to grow without cutting, limbing, trimming, pruning, mowing, or other similar activities except as needed for renewal or to maintain or improve plant health (483-B:4, XXIV-b).

Section 2: Project Description

Description of Project

Under NHDES Shoreland Impact Permit 2022-01558, issued August 17, 2022, the project rebuilt the Eversource Greggs Substation, associated site improvements, and phased utility pole relocations. With the rebuilt substation successfully commissioned, the project proposes redevelopment of the to be decommissioned existing Greggs Substation yard to a paved pole storage yard. The property is located at 39 Mast Road, within the Agricultural (A) Zoning District, and is bordered by Glen Lake and Greggs Falls to the north, Greggs Falls to the east, Goffstown Physical Therapy, Goffstown Rail Trail and baseball fields to the south, and undeveloped land which includes an existing utility ROW to the west.

The original application requested to improve system reliability and replace existing aged infrastructure through the rebuilding of Gregg's substation directly adjacent to the existing substation, which was built in the 1940's. Access to the rebuilt substation was provided via the existing driveway on Mast Road and additional site improvements for circulation around the rebuilt substation were incorporated as were areas dedicated for a water well, septic field, and stormwater management for conveyance, treatment and attenuation of site stormwater runoff. As stated in the 2022 application narrative, the prior substation would be decommissioned and electrical equipment removed from the site. Relative to the ultimate reuse of the existing decommissioned substation yard, Eversource will utilize the area for pole storage, which will offset the area lost by the rebuilt substation. Under the proposed scope of work, the existing electrical equipment will be removed from the yard, existing gravel selects will be shimmed to accommodate pavement finish grade, catch basins will be installed interior to the yard, and the area paved. The existing substation yard fencing will remain and coincides with the proposed limit of work. Areas of disturbance not identified to be paved, rip rap, or within the basin bottom shall be stabilized with Modified New England Conservation Wildlife Mix applied at a minimum rate of 25 lbs/acre.

The existing lot is a total of 11.3± acres and approximately 0.39± acres (0.27± acres within the 250-foot Protected Shoreland reference line for Glenn Lake) will be disturbed in the easter portion of the site as part of the proposed project. There will be an increase of impervious area within the reference line by approximately 785 SF associated with gravel access to the proposed Infiltration Basin.

Appropriate sediment and erosion controls to prevent construction related sediment from leaving the site have been included in the attach Stormwater Management Plan. This project proposes impacts within the natural woodland buffer. Due to the existing developed nature of the site, the 25% area of the woodland buffer to be designated and maintained as natural wooded buffer consists of grandfathered cleared areas with grasses, shrubs, and native trees. These areas have been previously cleared primarily due to clearance distances beneath the overhead electric lines that need to be maintained. There is no proposed change to the area or ground cover within the natural woodland buffer. Waivers for RSA 483-B:9 V(g)(3), Impervious Surfaces Tree Point Score within the Waterfront Buffer, and RSA 483-B:9 V(b)(2)(A), Maintenance of Vegetation within the Woodland Buffer, have been included with this application package, consistent with those granted under Permit 2022-01558.

Under RSA 483-B:9, IV-b, "public utility lines and associated structures and facilities..., shall be permitted by the commissioner as necessary and consistent with the purposes of this chapter and other state law." Per this statement, we interpret that the project to be consistent with the expectations of the RSA.

The purpose of the proposed work is to continue to provide essential public utility services to customers in the Goffstown area.

It is our expectation that the total project timeline for substation decommissioning and yard construction will take approximately 6-months, with anticipated construction starting in the Spring of 2026.

KNOW ALL MEN BY THESE PRESENTS

That PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, a corporation with its principal place of business at Manchester, in the County of Hillsborough in the State of New Hampshire (hereinafter called the Grantor), for consideration paid, grants to THE STATE OF NEW HAMPSHIRE (hereinafter called the Grantee), with QUITCLAIM covenants, all right, title, and interest of the Grantor, except as hereinafter specifically excepted and reserved, in and to the following land, with buildings and dams thereon, together with all flowage rights and other water rights appurtenant thereto, located in Goffstown, in the County of Hillsborough, in Harrisville, Nelson, Dublin, and Stoddard in the County of Cheshire, and in Washington in the County of Sullivan, all in the State of New Hampshire:

I. A. A certain tract of land in Goffstown, located along the northerly line of the Goffstown Back Road, so-called, and shown on a plan entitled "Glen Lake and Greggs Falls Property, Goffstown, N.H." Public Service Company of New Hampshire Engineering Department Scale 1"=200' dated August 9, 1967 R-3035-2.1 and recorded in the Hillsborough County Registry of Deeds, Plan No. 3705, Folder No. 345, and bounded and described as follows:

Beginning at a hub in the northerly line of the Goffstown Back Road at the point where the land of the Grantor abuts the southeasterly corner of land now or formerly of Lovel, Dyke and Summer; thence

- (1) North 9° 00' East three hundred fifteen (315) feet along the easterly line of said Lovel et al. to a point; thence
- (2) North 17° 00' West seven hundred fifty (750) feet along the easterly line of said Lovel et al. to its northeasterly corner abutting land now or formerly of Rust; thence
- (3) South 80° 30' East four hundred fifty (450) feet along the southerly line of said Rust to its southeasterly corner; thence
- (4) North 0° 30' West four hundred ten (410) feet along the easterly line of said Rust to a stone bound; thence
- (5) South 83° 30' East eight hundred twenty-four (824) feet to a point; thence
- (6) South 84° 00' East eight hundred thirty-six (836) feet to an iron pin; thence
- (7) North 86° 45' East three hundred seventy-five (375) feet to a stone bound at the northeasterly corner of land of the Grantor abutting land now or formerly of Corey; thence
- (8) South 12° 30' West one thousand seven hundred forty-five (1,745) feet along the westerly line of said Corey to a stone bound in the northerly line of the Goffstown Back Road; thence
- (9) Westerly by the northerly line of said Road two thousand one hundred two (2,102) feet to the place of beginning.

Be all said measures more or less.

B. A certain tract of land in Goffstown, located along the southerly

line of the Goffstown Back Road, and shown on the aforementioned Plan, and bounded and described as follows:

Beginning at an iron pin in the southerly line of the Goffstown Back Road; thence

- (1) South $5^{\circ} 58'$ West one hundred forty-nine (149) feet to a point in the northerly shore of Glen Lake; thence
- (2) Easterly along the northerly shore of said lake and the Piscataquog River six thousand three hundred (6,300) feet to a point at the southeast corner of Grantor's land, abutting land now or formerly of Hammond; thence
- (3) North $8^{\circ} 15'$ East two hundred fifteen (215) feet along the westerly line of said Hammond to a hard pine tree at the southeasterly corner of land now or formerly of Merrill; thence
- (4) North $65^{\circ} 50'$ West five hundred (500) feet along the southerly line of said Merrill to a point; thence

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- (5) South $87^{\circ} 10'$ West, two hundred ninety (290) feet along the southerly line of said Merrill to a point at the southeasterly corner of land now or formerly of Spaulding; thence,
- (6) North $79^{\circ} 20'$ West, four hundred ninety (490) feet along the southerly line of said Spaulding to its southwesterly corner; thence
- (7) North $18^{\circ} 45'$ East, two hundred sixty-four (264) feet along the westerly line of said Spaulding to a point in the southerly line of the Goffstown Back Road; thence
- (8) Westerly along the southerly line of said Road and the Old Road, so-called, one thousand six hundred one (1,601) feet to the end of a stone wall intersecting the southerly line of the new road; thence
- (9) Westerly along the southerly line of said Road two thousand one hundred seventy-eight (2,178) feet to the place of beginning.

Be all said measures more or less.

C. A certain tract of land in Goffstown, located along the southerly shore of the Piscataquog River, and shown on the aforementioned plan, and bounded and described as follows:

Beginning at a cement bound one hundred and forty-three (143) feet from a drill hole located in the northerly line of New Hampshire State Route 114, the Mast Road, so-called, at the southeasterly corner of land of the Grantor, abutting land now or formerly of Gilchrist; thence

- (1) North $9^{\circ} 00'$ East, one hundred forty-three (143) feet along the westerly line of said Gilchrist to a point in the southerly shore of the Piscataquog river; thence
- (2) Westerly, two hundred eighty (280) feet along said southerly shore to the westerly edge of the wall of the dam; thence
- (3) Southerly and easterly, five hundred sixty (560) feet along the wall of the dam and the top of the gravel bank to a cement bound; thence

- (4) North 25° 30' East, one hundred two (102) feet to the place of beginning. Be all said measures more or less.

Together with the right in common with the Grantor to pass and repass with vehicles and on foot along the existing roadway on the Grantor's adjoining

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land between Mast Road and the land herein described.

Excepting and reserving, however, to the Grantor and its successors and assigns the pump and pipes and associated equipment located at the well situated on the land herein described and the pipes running from the well to the Grantor's adjoining land together with the right to install, operate, maintain, repair, replace and remove said pump and pipes and the right in common with the Grantee to take water from the well.

D. The dam, buildings associated with the dam, and walls and associated structures used in the regulation of the water level of Glen Lake, located on and adjacent to the land described in paragraphs B and C, together with all right, title, and interest of the Grantor to erect, operate, maintain, repair, replace and remove said dam, buildings, walls, and associated structures.

E. A certain tract of land in Goffstown, located along the southerly shore of Glen Lake, and shown on the aforementioned plan, and bounded and described as follows:

Beginning at a cement bound in the southerly shore of Glen Lake; thence

- (1) South 2° 00' East, four hundred sixty-two (462) feet to a cement bound in the northerly line of the right of way of the Boston and Maine Railroad's North Weare Branch; thence
- (2) Westerly, four hundred fifty (450) feet along the northerly line of said railroad's right of way to the point where the Dan Little Brook flows into Glen Lake; thence
- (3) Northerly and easterly, one thousand twenty (1,020) feet along the southerly shore of said lake to the place of beginning. Be all said measures more or less.

Together with the right, in common with the Grantor, to pass and repass with vehicles and on foot along a strip of land thirty (30) feet in width between Mast Road and the land herein described. Said strip is located northerly of and adjacent to the northerly line of the railroad right of way, is five hundred twenty-four and seventy-nine hundredths (524.79) feet in length measuring along the northerly edge of the strip, and is shown on the aforementioned plan.

Excepting and reserving to the Grantor and its successors and assigns, the Grantor's presently existing electric transmission lines located on the

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land described in paragraphs A through E, inclusive, together with the right and easement to construct, repair, rebuild, operate, patrol and remove said lines and other overhead and underground lines consisting of wires, cables, ducts, manholes, and other equipment for transmitting electric current and/or intelligence over, under, and across strips of land of varying widths located on said land. Said strips shall be located as shown identified as "R.O.W." on the aforementioned plan. This reservation shall include the right to clear and keep clear said strips of all trees and underbrush by such means as the Grantor may select, to remove all structures or obstructions found within the limits of said strips which interfere with said lines, and the right to cut or trim such trees on the land hereby conveyed as in the judgment of the Grantor may interfere with or endanger said lines or their maintenance or operation.

By acceptance of this deed, the Grantee for itself and its successors and assigns covenants and agrees that it will not erect or maintain within the limits of said strips any building or other structure which in the judgment of the Grantor would interfere with or endanger said lines or their maintenance or operation.

Grantor obtained title to the tracts conveyed hereby by deed of Manchester Traction, Light and Power Company, dated October 29, 1926, and recorded in the Hillsborough County Registry of Deeds, Book 861, Page 295; and by deed of Properties, Inc., dated October 30, 1967, and recorded in said Registry of Deeds.

II. A. The dam located at the outlet to Highland Lake, formerly Long Pond, in Stoddard in the County of Cheshire and the right to flow lands adjacent to said lake in Stoddard and in Washington in the County of Sullivan.

The Grantor obtained title to the dam and flowage rights conveyed hereby by deed of the New Hampshire Savings Bank of Concord, New Hampshire, dated May 14, 1934, and recorded in the Cheshire County Registry of Deeds, Book 473, Page 473, and in the Sullivan County Registry of Deeds, Book 362, Page 521.

III. A. A certain tract of land, dam and structures located in Harrisville, known as Childs Bog Reservoir, bounded and described as follows:

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Beginning at a point in the road leading from Nelson to Chesham Depot at the intersection of a stone wall and land now or formerly of Corban C. Farwell; thence

- (1) Northerly and easterly, one thousand seven hundred sixty-six (1,766) feet along the easterly line of said road to a blazed maple tree; thence
- (2) Northerly one thousand ninety (1,090) feet across said road and along land now or formerly of George W. Seavers' heirs to a point at the intersection of two stone walls; thence
- (3) Northerly, six hundred sixty-five (665) feet along said stone wall and land of Seavers' heirs to a corner; thence
- (4) Easterly, one hundred forty (140) feet along said wall and land of Seavers' heirs to a corner; thence

- (5) Northerly and easterly seven hundred ten (710) feet along said wall and land of Seavers' heirs to a corner; thence
- (6) Easterly, two hundred (200) feet along land of Seavers' heirs to a point in the westerly line of the road to Nelson; thence
- (7) Southerly and easterly, two thousand three hundred (2,300) feet along the westerly line of said road to a blazed maple tree; thence
- (8) South 24° 00' West, sixty (60) feet to a point where the line intersects the one thousand three hundred eighty (1,380) foot contour line of the reservoir, the elevation referred to being the benchmark on the outlet works of the Childs Reservoir Dam; thence
- (9) Easterly, four thousand eight hundred (4,800) feet along said one thousand three hundred eighty (1,380) foot contour line to a stake in stones in line with a stone wall marking the west edge of the mowing back of the so-called Rosemary Cottage now or formerly of Arthur E. Childs and approximately fifteen (15) feet from the corner where a stone wall turns and runs east; thence
- (10) South 1° 31' East, two hundred eighty-two (282) feet to a stone wall and along it and said land of Childs to a point; thence
- (11) South 27° 05' East sixty-two (62) feet along said wall and land of Childs to a point where said wall intersects another stone wall in the northerly line of the discontinued highway running by the aforesaid Rosemary Cottage; thence

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- (12) South 34° 22' West, ninety-eight (98) feet to an angle in a stone wall; thence
- (13) South 20° 14' West, two hundred thirteen (213) feet across the aforesaid discontinued highway and along said land of Childs to a point; thence
- (14) North 88° 17' West, one hundred eighty-six (186) feet to a drill hole in a boulder in the bed of the brook flowing from Childs Bog Reservoir, said boulder being located approximately one hundred (100) feet below the downstream toe of the dam; thence
- (15) North 88° 17' West, one hundred four (104) feet along said land of Childs to a point; thence
- (16) North 6° 08' East, one hundred thirty-seven (137) feet along said land of Childs, crossing the aforementioned discontinued highway to a point in a stone wall at the intersection of the northerly line of said highway and land now or formerly of Corban C. Farwell; thence
- (17) North 19° 00' West, nine hundred sixty-five (965) feet along said land of Farwell to a point in a stone wall; thence
- (18) South 26° 00' West, two hundred forty-eight (248) feet along said wall to a maple tree; thence
- (19) Northerly, eight hundred (800) feet along said land of Farwell to the place of beginning.

Be all said measures more or less.

The Grantor obtained title to the tract and rights conveyed hereby by deed of the Ashuelot Gas and Electric Company, dated October 29, 1926, and recorded in Book 428, Page 457; by deed of Charles A. Blake, dated August 29, 1928, and recorded in Book 432, Page 397; by deed of Oren L. Farwell, dated

May 3, 1928, and recorded in Book 432, Page 93; by deed of Charles H. Pease, dated May 24, 1928, and recorded in Book 434, Page 508, all in the Cheshire County Registry of Deeds.

B. A certain tract of land, dam and structures, located in Harrisville and known as Seaver Reservoir and bounded and described as follows:

- 7 -

Beginning at an iron pin in the northerly line of the road from Harrisville to Chesham at the southeasterly corner of the land of the Grantor, abutting land now or formerly of Charles Beaugard; thence

- (1) North 40° 00' East, one thousand five hundred five (1,505) feet along the westerly line of said Beaugard to an iron pin; thence
- (2) North 38° 25' West, forty-five and three-tenths (45.3) feet to an iron pin at the end of the stone wall marking the southeasterly corner of land now or formerly of J. A. Grau, abutting the land of the Grantor; thence
- (3) South 41° 35' West, thirty-one and six tenths (31.6) feet along said wall and land of Grau; thence
- (4) South 23° 13' West, twenty-eight and five tenths (28.5) feet along said wall and land of Grau; thence
- (5) South 43° 33' West, thirty-four and six tenths (34.6) feet to the end of the stone wall; thence
- (6) South 57° 48' West, eighty-one and seven tenths (81.7) feet along the southerly line of said Grau to a stone wall; thence
- (7) South 62° 18' West, one hundred six and five tenths (106.5) feet along said wall and land of Grau; thence
- (8) South 71° 38' West, forty-eight and five tenths (48.5) feet along said wall and land of Grau; thence
- (9) South 86° 55' West, twenty-eight and five tenths (28.5) feet along said wall and land of Grau; thence
- (10) North 76° 07' West, ninety-four and two tenths (94.2) feet to the end of said wall; thence
- (11) South 88° 12' West, ninety-six (96) feet along the southerly line of said Grau to an iron pin; thence
- (12) South 70° 35' West four hundred fifty-six (456) feet along said southerly line of Grau to an iron pin; thence
- (13) South 73° 40' West, two hundred fifty-two and eight tenths (252.8) feet along said southerly line of Grau to an iron pin at the southwesterly corner of said Grau; thence
- (14) North 6° 20' West, seven hundred eighty-two (782) feet along a stone wall and the westerly line of said Grau to an iron pin by a hemlock tree marking the southeasterly corner of land now or formerly of Grant Mason; thence

- 8 -

- (15) North $84^{\circ} 08'$ West, five hundred twenty-four (524) feet along the southerly line of said Mason, across the southerly extension of the reservoir to an iron pin; thence
- (16) North $28^{\circ} 08'$ West, two hundred ninety-one (291) feet to a stake and stones at the high water line of the westerly shore of the reservoir; thence
- (17) Northerly and westerly, seven hundred ninety-seven (797) feet along the shore of said reservoir to the easterly line of the road from Nelson to Dublin; thence
- (18) Southerly and easterly, two thousand three hundred forty-three (2,343) feet by the easterly line of said road to an iron pin in the northeast corner of the intersection of the road from Nelson to Dublin with the road from Harrisville to Chesham; thence
- (19) Easterly and southerly, seven hundred and ninety (790) feet along the northerly line of said road from Harrisville to Chesham to the place of beginning.

Be all measures more or less.

The Grantor obtained title to the tract and rights conveyed hereby by deed of the Ashuelot Gas and Electric Company dated October 29, 1926, and recorded in Book 428 Page 457; by deed of Sarah Seaver, dated June 12, 1928, and recorded in Book 432, Page 189; by deed of Oren L. Farwell, dated May 3, 1928, and recorded in Book 432, Page 92, all in the Cheshire County Registry of Deeds.

C. A certain tract of land in Harrisville, along the westerly side of the road from Nelson to Dublin and across from the outlet of Seaver Reservoir as shown on a plan of D. R. Chaplin, C.E., entitled "Seaver Reservoir Harrisville, New Hampshire" dated November, 1923, recorded in the Cheshire County Registry of Deeds Plan Book 2, Page 119, bounded and described as follows:

Beginning at the southerly end of a stone wall along the westerly line of the road from Nelson to Dublin; thence

- (1) South $78^{\circ}00'$ West, two hundred ninety-four (294) feet to a red oak; thence

- 9 -

- (2) North $41^{\circ} 31'$ West, one hundred twelve (112) feet to the south bank of the brook from Seaver Reservoir; thence
- (3) Northerly and easterly, one hundred ninety (190) feet crossing said brook to a maple tree; thence
- (4) Easterly and northerly, two hundred twenty-five (225) feet to the westerly line of the road from Nelson to Dublin; thence
- (5) Southerly, four hundred fifty (450) feet by the westerly line of said road to the place of beginning.

Be all said measures more or less.

Grantor obtained title to the tract conveyed hereby, by deed of the Ashuelot Gas and Electric Company, dated October 29, 1926, and recorded in the Cheshire County Registry of Deeds, Book 428, Page 457.

D. The dam at the outlet of Silver Lake, formerly Breed Pond, in

Harrisville, and the right to flow lands adjacent thereto in Harrisville and Nelson conveyed to the Grantor by deed of Charles J. Contas, agent for the Breed Pond Company, dated December 31, 1956, and recorded in Book 632, Page 266; and by deed of the Ashuelot Gas and Electric Company dated October 29, 1926, and recorded in Book 428, Page 457, all in the Cheshire County Registry of Deeds.

E. The land and dam at the outlet of Chesham Reservoir in Harrisville and the right to flow lands adjacent thereto conveyed to the Grantor by deed of Charles J. Contas, agent for the Breed Pond Company, dated December 31, 1956, and recorded in Book 632, Page 266, and by deed of the Ashuelot Gas and Electric Company, dated October 29, 1926, and recorded in Book 428, Page 457, all in the Cheshire County Registry of Deeds.

Excepting and reserving herefrom that parcel of land conveyed by the Grantor to Linda M. Anderson of Troy, New Hampshire, by deed dated December 31, 1957, and recorded in the Cheshire County Registry of Deeds, Book 646, Page 419.

F. The dam at the outlet of Howe Reservoir in Harrisville and the right to flow lands adjacent thereto in Harrisville and Dublin conveyed to the Grantor by deed of Charles J. Contas, agent for the Breed Pond Company, dated December 31, 1956, and recorded in Book 632, Page 266; by deed of the Ashuelot Gas and Electric Company, dated October 29, 1926, and recorded in Book 428, Page 457; by deed of Philip H. Faulkner, Executor of R. D. Smith, dated February 16, 1928, and recorded in Book 430, Page 251, all in the Cheshire

- 10 -

County Registry of Deeds.

Excepting and reserving to the Grantor and its successors and assigns The Grantor's presently existing electric distribution lines located on the land described in paragraphs III A through III F, inclusive, together with the right and easement to construct, repair, rebuild, operate, patrol, and remove said lines and other overhead and underground lines consisting of wires, cables, ducts, manholes, and other equipment for transmitting electric current and/or intelligence in the present locations of said lines. This reservation shall include the right to do the necessary cutting and trimming of trees and brush along said lines.

Meaning and intending to convey all right, title and interest of the Grantor in and to the land, dams and reservoirs described herein, including all rights and easements appurtenant thereto, except those rights and easements specifically excepted and reserved herein.

The Grantee, by accepting this conveyance, acknowledges that it has been afforded full opportunity by the Grantor to inspect the property hereby conveyed, including the dams and other structures, and that it is satisfied that there are no conditions in, on, or about said property involving a risk of loss to persons or property which are or can be known to the Grantor and which are either not known or not likely to be discovered by the Grantee upon reasonable inspection.

The use of the within described premises is subject to the limitation that if any part of the premises shall be dedicated for use as a public recreational area, such part shall be dedicated in honor or in memory of some prominent person; such person to be selected, and such dedication to be proclaimed, by the Governor of The State of New Hampshire.

The premises hereby conveyed have become subject to the lien of the Grantor's First Mortgage dated as of January 1, 1943, and indentures supplemental thereto, to Old Colony Trust Company of Boston, Massachusetts, Trustee; and the Grantor hereby agrees that it will obtain a release of said premises from the lien of said Mortgage and indentures supplemental thereto

- 11 -

on or before May 1, 1968.

IN WITNESS WHEREOF, Public Service Company of New Hampshire has hereunto caused its name to be subscribed and its corporate seal to be affixed this 21st day of December, 1967, by its Chairman, thereunto duly authorized.

In the presence of: PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE

RAWinslow

By: A. R. Schiller
A. R. Schiller, Chairman

State of New Hampshire
County of Hillsborough

On this the 21st day of December, 1967, before me, the undersigned officer, personally appeared A. R. Schiller, who acknowledged himself to be the Chairman of Public Service Company of New Hampshire, a corporation, and that he, as such Chairman, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as Chairman.

In witness whereof, I hereunto set my hand and official seal.

RAWinslow
Notary Public

Consideration is less than \$100.00.

My Commission expires: February 10, 1972

- 12 -

EXTRACT FROM THE RECORDS OF A MEETING OF THE
BOARD OF DIRECTORS OF PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
HELD IN MANCHESTER, NEW HAMPSHIRE, ON JULY 20, 1967

"RESOLVED that this Board hereby authorizes the officers, or any of them, on behalf of this Company to negotiate with The State of New Hampshire for the acquisition by The State of the existing dams at the following sites and the lands and rights associated with said dams and with the reservoirs controlled thereby, for the development thereof by The State for recreational purposes for the benefit of the people of New Hampshire: Glen Lake, Goffs-

town; Highland Lake, Stoddard; Silver Lake, Chesham Pond, Seavers Reservoir, Childs Bog Reservoir, and Howe Reservoir, all in Harrisville.

"FURTHER RESOLVED that the officers, and any of them, are hereby authorized to convey said dams and associated lands and rights to The State of New Hampshire for such consideration as the officer or officers so acting may determine to be in the best interests of the Company."

I, R. H. Wood, Secretary of Public Service Company of New Hampshire, do hereby certify that the foregoing is a true copy of resolutions adopted at a meeting of the Board of Directors of said Company held in Manchester, New Hampshire, on July 20, 1967. I further certify that the meeting was legally called, that a quorum was present and acted throughout the meeting, and that the foregoing resolutions remain in full force and effect without any alteration as of the date of this certification.

I hereby further certify that Avery R. Schiller has been duly elected Chairman and Chief Executive Officer of the Company and now holds that office.

WITNESS my hand and the seal of Public Service Company of New Hampshire this 21st day of December, 1967.

[Signature]
Secretary

HILLSBOROUGH, SS. Rec'd & Recorded

8-30 A.M., April 9, 1968

Examined by

Timothy K. O'Connell

Register.

Know all Men by these Presents,

That we, Malcolm F. Shea and Alicia A. Shea, husband and wife, of Milford, County of Hillsborough and State of New Hampshire

in consideration of --One Dollar and other valuable consideration----
to us paid by Ronald H. Smith and Margaret D. Smith

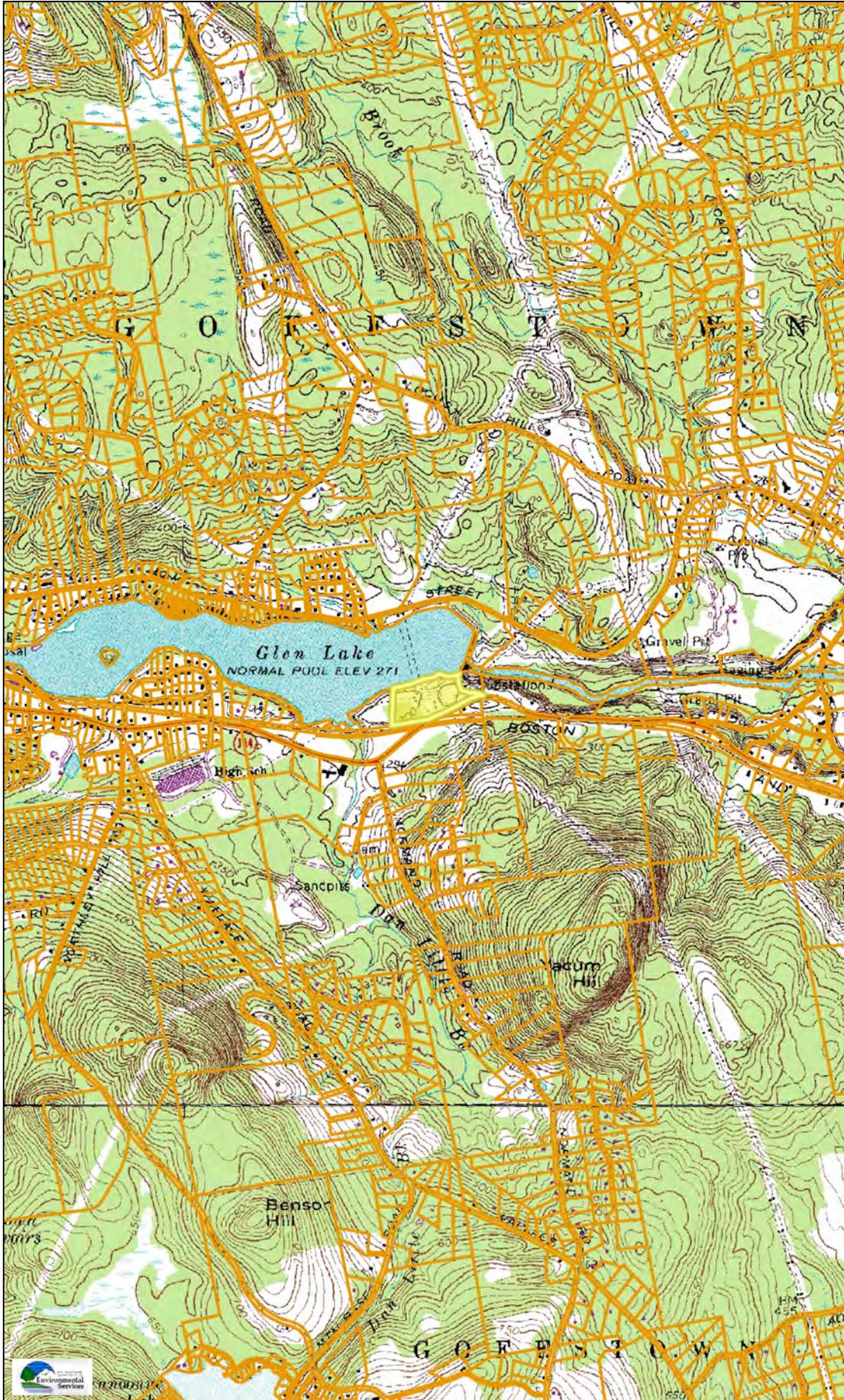
the receipt whereof we do hereby acknowledge, have given, granted, bargained, sold and conveyed, and do for our selves and our heirs, by these presents, give, grant, bargain, sell, alien, enfeoff, convey and confirm unto the said Ronald H. Smith and Margaret D. Smith, husband and wife of 6 Prospect Street, Milford, said County and State

as joint tenants and not as tenants in common, to them and their assigns, and the heirs and assigns of the survivor of them forever.

A certain tract or parcel of land with any buildings thereon, situate in Milford, Hillsborough County and State of New Hampshire, bounded and described as follows:-

- On the North by the Souhegan River;
- On the East by land now or formerly of Henry A. King;
- On the South by land now or formerly of Gutterson;
- On the West by land now or formerly of Converse

7.5' USGS Map of the Gregg Substation Expansion



Legend

Parcels

Parcel Polygons

Attributes for Additional Lines

Additional Lines

Map Scale

1: 24,000

© NH DES, <http://des.nh.gov>

Map Generated: 4/14/2022



Notes

OneStop 7.5' USGS map of
39 Mast Road, Goffstown NH
Tax Map 5 Lot 15



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

Name and Number and/or Project Title:
Greggs Substation Rebuild (17752.05)

PHOTO LOG

Photo #	Photo location and description
1	Looking east towards the existing Greggs Substation located on the western half of Tax Map 5
2	Image capturing the existing structure from the sites entrance facing northeast
3	Looking west along existing gravel access drive located along northern portion of the site.
4	Looking east along the vegetative buffer located in the northwestern portion of the site.
5	Looking east through vegetative area located in the southwestern portion of the site.

Eversource Greggs Substation Rebuild
39 Mast Road, Goffstown, NH 03046

Photo 1



Looking east towards the existing Greggs Substation located on the western half of Tax Map 5 Lot 15. (11/23/2022)

Photo 2



Image capturing the existing control house from the sites entrance facing northeast. (11/23/2021)

Photo 3



Looking west along existing gravel access drive located along northern portion of the site. (11/23/2021)

Photo 4



Looking east along the vegetative buffer located in the northwestern portion of the site. (11/23/2021)

Photo 5



Looking east through vegetative area located in the southwestern portion of the site. (11/23/2021)



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Land Planners
 Landscape Architects

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

**AERIAL PHOTO
 EVERSOURCE GREGGS SUBSTATION**

For
 TAX MAP 5 LOT 15
 39 MAST ROAD
 GOFFSTOWN, NH 03045
 Prepared for

EVERSOURCE ENERGY
 13 LEGENDS DRIVE
 GOFFSTOWN, NH 03106

FILE	17752.01	SCALE	1"=500'
		CADFILE	AERIAL

MAY 20, 2022

Section 3: Correspondence



NHB DataCheck Results Letter
NH Natural Heritage Bureau

To: Jeremy Belanger
48 Consitution Dr
Bedford, NH 03110
jbelanger@tfmoran.com

From: NHB Review
NH Natural Heritage Bureau
Main Contact: Maddie Severance - nhbreview@dncr.nh.gov

cc: NHFG Review

Date: 06/13/2025 (valid until 06/13/2026)

Re: DataCheck Review by NH Natural Heritage Bureau and NH Fish & Game

Permits: MUNICIPAL POR - Goffstown, NHDES - Alteration of Terrain Permit, NHDES - Shoreland Standard Permit, USEPA - Stormwater Pollution Prevention

NHB ID: NHB25-1600

Town: Goffstown

Location: 39 Mast Road

Project Description: Decommissioning of the existing Eversource Greggs Substation to include removal of electrical equipment, paving of existing substation yard to be used for future storage, associated access and stormwater management area improvements.

Next Steps for Applicant:

NHB's database has been searched for records of rare species and exemplary natural communities. Please carefully read the comments below and the consultation requirements on the following page.

NHB Comments: No comments at this time.

NHFG Comments: Please refer to NHFG consultation requirements below.



NHB DataCheck Results Letter

NH Natural Heritage Bureau

NHB Consultation

If this NHB DataCheck letter includes records of rare plants and/or natural communities/systems, please contact NHB and provide any requested supplementary materials by emailing nhbreview@dncr.nh.gov.

If this NHB DataCheck letter DOES NOT include any records of rare plants and/or natural communities/systems, no further consultation with NHB is required.

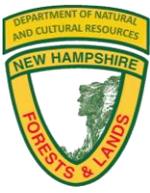
NH Fish and Game Department Consultation

If this NHB DataCheck letter DOES NOT include ANY wildlife species records, then, based on the information submitted, no further consultation with the NH Fish and Game Department pursuant to Fis 1004 is required.

If this NHB DataCheck letter includes a record for a threatened (T) or endangered (E) wildlife species, consultation with the New Hampshire Fish and Game Department under Fis 1004 may be required. To review the Fis 1000 rules (effective February 3, 2022), please go to <https://www.wildlife.nh.gov/wildlife-and-habitat/nongame-and-endangered-species/environmental-review>. All requests for consultation and submittals should be sent via email to NHFGreview@wildlife.nh.gov or can be sent by mail, and **must include the NHB DataCheck results letter number and "Fis 1004 consultation request" in the subject line.**

If the NHB DataCheck response letter does not include a threatened or endangered wildlife species but includes other wildlife species (e.g., Species of Special Concern), consultation under Fis 1004 is not required; however, some species are protected under other state laws or rules, so coordination with NH Fish & Game is highly recommended or may be required for certain permits. While some permitting processes are exempt from required consultation under Fis 1004 (e.g., *statutory permit by notification*, *permit by rule*, *permit by notification*, *routine roadway registration*, *docking structure registration*, or *conditional authorization by rule*), coordination with NH Fish & Game may still be required under the rules governing those specific permitting processes, and it is recommended you contact the applicable permitting agency. For projects not requiring consultation under Fis 1004, but where additional coordination with NH Fish and Game is requested, please email NHFGreview@wildlife.nh.gov, and include the NHB DataCheck results letter number and "review request" in the email subject line.

Contact NH Fish & Game at (603) 271-0467 with questions.



NHB DataCheck Results Letter
 NH Natural Heritage Bureau

NHB Database Records:

The following record(s) have been documented in the vicinity of the proposed project. Please refer to this list when coordinating.

Invertebrate Species	State¹	Federal	Notes
Brook Floater (<i>Alasmidonta varicosa</i>)*	E	--	Contact the NH Fish & Game Dept (see above).
Vertebrate species	State¹	Federal	Notes
Blanding's Turtle (<i>Emydoidea blandingii</i>)	E	--	Contact the NH Fish & Game Dept (see above).
Northern Black Racer (<i>Coluber constrictor constrictor</i>)	T	--	Contact the NH Fish & Game Dept (see above).
Redfin Pickerel (<i>Esox americanus americanus</i>)*	SC	--	Contact the NH Fish & Game Dept (see above).
Wood Turtle (<i>Glyptemys insculpta</i>)	SC	--	Contact the NH Fish & Game Dept (see above).

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list.

An asterisk (*) indicates that the most recent report for that occurrence was 20 or more years ago.

For all animal reviews, refer to 'IMPORTANT: NHFG Consultation' section above.

Disclaimer: NHB's database can only tell you of known occurrences that have been reported to NHFG/NHB. Known occurrences are based on information gathered by qualified biologists or members of the public, reported to our offices, and verified by NHB/NHFG.

However, many areas have never been surveyed, or have only been surveyed for certain species.

NHB recommends surveys to determine what species/natural communities are present onsite.



NHB DataCheck Results Letter

NH Natural Heritage Bureau

Please note: Effective June 10th, 2025, DataCheck letters will no longer include specific locations of rare species and exemplary natural communities. Changes to the map have been made to reflect this update.

Important: The list of rare species and exemplary natural communities that may be impacted by the project is included. Please refer to that list when coordinating.

NHB25-1600



Section 4: Abutter Information



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

January 21, 2026

**Re: Eversource Greggs Substation Rebuild
NHDES Shoreland Permit Application
39 Mast Road, Goffstown, NH 03045**

Dear Sir or Madam:

This letter is to inform you that a permit application will be filed with the NH Department of Environmental Services for a shoreland impact permit associated with the above reference project. Under state law RSA-483-B:5-b, iv-a, we are required to notify you about the application which proposes work abutting your property.

Once it is filed, the application with plans that show the proposed project and jurisdictional impacts will be available for viewing during normal business hours at the offices of the NHDES Wetlands Bureau (8 a.m. to 4 p.m.). The office can be reached by phone at (603) 271-2919. It has been suggested that you call ahead to ensure the application is available for review.

Sincerely,
TFMoran, Inc.

A handwritten signature in black ink that reads 'Jeremy Belanger'.

Jeremy Belanger, P.E.
Senior Project Engineer

January 21, 2026

Abutters List
For Eversource Energy
Greggs Substation Rebuild

Job #17752-06

Lot 5-15
PSNH (DBA Eversource Energy)
PO Box 270
Hartford, CT 06141-0270

PSNH (DBA Eversource Energy)
c/o Kurt Nelson
13 Legends Drive
Hooksett, NH 03106

Lot 5-15-2
Greggs Falls Hydro Associates LP
c/o Eagle Creek Renewable Energy
PO Box 167
Neshkora, WI 54960

Lot 5-15-4, 5-59A, 19-47-4, 19-47-5
Town of Goffstown
16 Main Street
Goffstown, NH 03045

Lot 5-15-1
State of New Hampshire
State House
Concord, NH 03301

Lot 5-57, 5-58
Michael & June Choquette
77 Mast Road
Goffstown, NH 03045

Lot 5-59
48 Mast Road LLC
450 Bedford Road
New Boston, NH 03070

TFMoran, Inc.
Michael Dahlberg, LLS
Nick Golon, PE
Jason Aube, CWS
48 Constitution Drive
Bedford, NH 03110

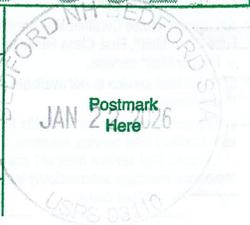
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<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 4.40
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 0.74
Total Postage and	
Sent To	\$ 10.44

Sent To Lot 5-15
PSNH (DBA Eversource Energy)
Street and Apt. No. PO Box 270
City, State, ZIP+4® Hartford, CT 06141-0270

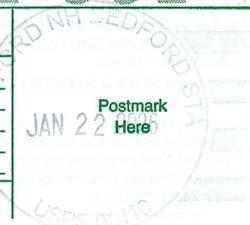
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<input type="checkbox"/> Return Receipt (electronic)	\$
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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 0.74
Total Postage and	
Sent To	\$ 10.44

Sent To PSNH (DBA Eversource Energy)
Street and Apt. No. c/o Kurt Nelson
City, State, ZIP+4® 13 Legends Drive
Hooksett, NH 03106

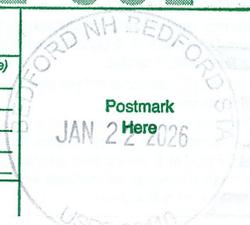
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<input type="checkbox"/> Return Receipt (electronic)	\$
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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 0.74
Total Postage and	
Sent To	\$ 10.44

Sent To Lot 5-15-4, 5-59A, 19-47-4, 19-47-5
Town of Goffstown
Street and Apt. No. 16 Main Street
City, State, ZIP+4® Goffstown, NH 03045

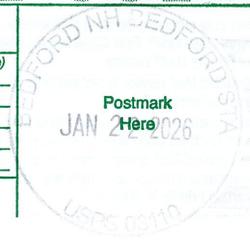
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Extra Services & Fees (check box, add fee as appropriate)	
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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 0.74
Total Postage and	
Sent To	\$ 10.44

Sent To Lot 5-57, 5-58
Michael & June Choquette
Street and Apt. No. 77 Mast Road
City, State, ZIP+4® Goffstown, NH 03045

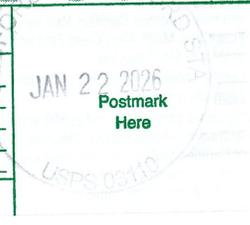
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Extra Services & Fees (check box, add fee as appropriate)	
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<input type="checkbox"/> Return Receipt (electronic)	\$
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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 0.74
Total Postage and	
Sent To	\$ 10.44

Sent To Lot 5-15-2
Greggs Falls Hydro Associates LP
Street and Apt. No. c/o Eagle Creek Renewable Energy
City, State, ZIP+4® PO Box 167
Neshkora, WI 54960

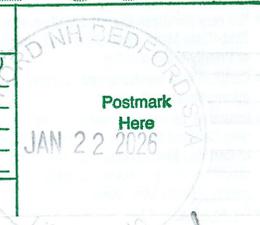
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Certified Mail Fee	\$ 5.30
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 4.40
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$ 0.74
Total Postage and	
Sent To	\$ 10.44

Sent To Lot 5-15-1
State of New Hampshire
Street and Apt. No. State House
City, State, ZIP+4® Concord, NH 03301

7021 1970 0001 5678 6703

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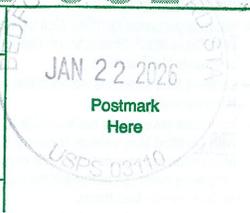
Certified Mail Fee
\$ 5.30

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ 4.40
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
\$ 0.74

Total Postage and Fees
\$ 10.44

Sent To Lot 5-59
48 Mast Road LLC
Street and Apt. No., 450 Bedford Road
City, State, ZIP+4® New Boston, NH 03070



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 1970 0001 5678 6710

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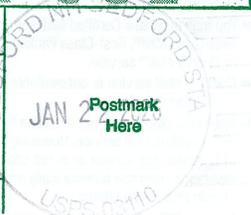
Certified Mail Fee
\$ 5.30

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$ 4.40
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
\$ 0.74

Total Postage and Fees
\$ 10.44

Sent To TFMoran, Inc.
Michael Dahlberg, LLS
Nick Golon, PE
Street and Apt. No. Jason Aube, CWS
City, State, ZIP+4® 48 Constitution Drive
Bedford, NH 03110



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



BEDFORD
25 S RIVER RD STE 110
BEDFORD, NH 03110-9717
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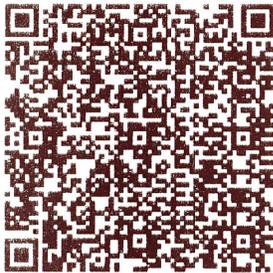
01/22/2026

01:22 PM

TRACKING NUMBERS

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70211970000156786703
70211970000156786697
70211970000156786680
70211970000156786673
70211970000156786512
70211970000156786529
70211970000156786536

TRACK STATUS OF ITEMS WITH THIS CODE
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PURCHASE DETAILS

Product	Qty	Unit Price	Price
Prepaid Mail Bedford, NH 03110 Weight: 0 lb 0.50 oz Acceptance Date: Thu 01/22/2026 Tracking #: 70211970000156786710	1		\$0.00
Prepaid Mail New Boston, NH 03070 Weight: 0 lb 0.50 oz Acceptance Date: Thu 01/22/2026 Tracking #: 70211970000156786703	1		\$0.00
Prepaid Mail Goffstown, NH 03045 Weight: 0 lb 0.50 oz Acceptance Date: Thu 01/22/2026 Tracking #: 70211970000156786697	1		\$0.00
Prepaid Mail Concord, NH 03301 Weight: 0 lb 0.50 oz Acceptance Date: Thu 01/22/2026 Tracking #: 70211970000156786680	1		\$0.00

Prepaid Mail 1 \$0.00
Goffstown, NH 03045
Weight: 0 lb 0.50 oz
Acceptance Date:
Thu 01/22/2026
Tracking #:
70211970000156786673

Prepaid Mail 1 \$0.00
Neshkoro, WI 54960
Weight: 0 lb 0.50 oz
Acceptance Date:
Thu 01/22/2026
Tracking #:
70211970000156786512

Prepaid Mail 1 \$0.00
Hooksett, NH 03106
Weight: 0 lb 0.50 oz
Acceptance Date:
Thu 01/22/2026
Tracking #:
70211970000156786529

Prepaid Mail 1 \$0.00
Hartford, CT 06141
Weight: 0 lb 0.50 oz
Acceptance Date:
Thu 01/22/2026
Tracking #:
70211970000156786536

Grand Total: \$0.00

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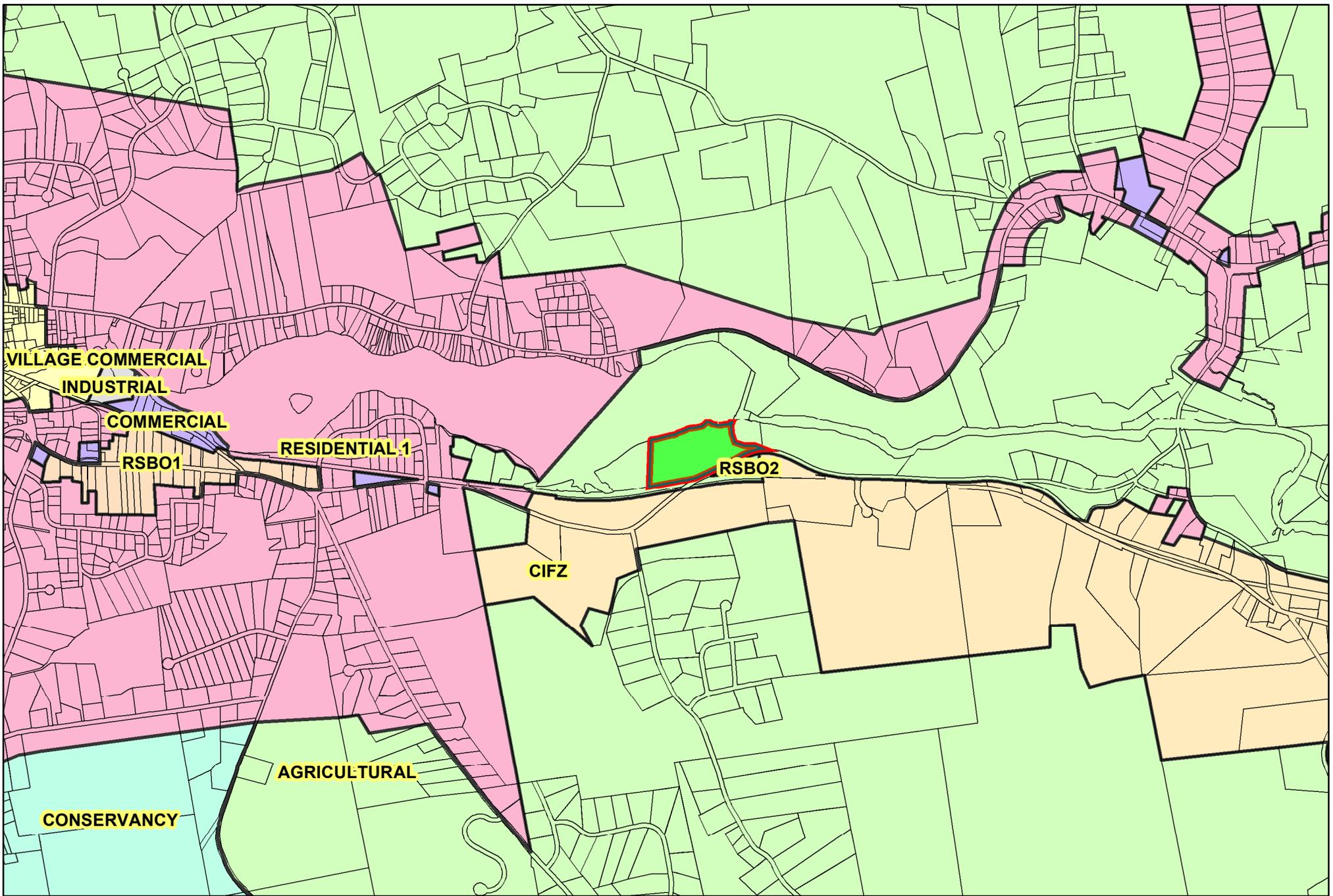
Agents do not have any additional information other than what is provided on USPS.com.

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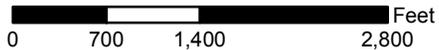


or call 1-800-410-7420.

UFN: 324810-0108
Receipt #: 840-50300036-1-9828936-1
Clerk: 45



Eversource Greggs Substation - Lot 5-15 - Zoning Map



1 inch = 1,427 feet

The Town of Goffstown, NH shall assume no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused or any decision made or action taken or not taken by reader in reliance upon any information or data furnished hereunder.



Section 5: Shoreland Impact Plan & Calculations

GLEN LAKE

NOTES

1. OWNER OF RECORD OF TAX MAP 5 LOT 15: PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE (D/B/A EVERSOURCE ENERGY), PO BOX 270, HARTFORD, CT, 06141-0270. DEED REFERENCE TO PARCEL IS BK. 861 PG. 295 AND BK. 861 PG. 121 IN THE HCRD.
AREA OF PARCEL = 11.3 ACRES±

2. SHORELAND FRONTAGE = 997.52 FT

SHORELAND IMPACT NOTES

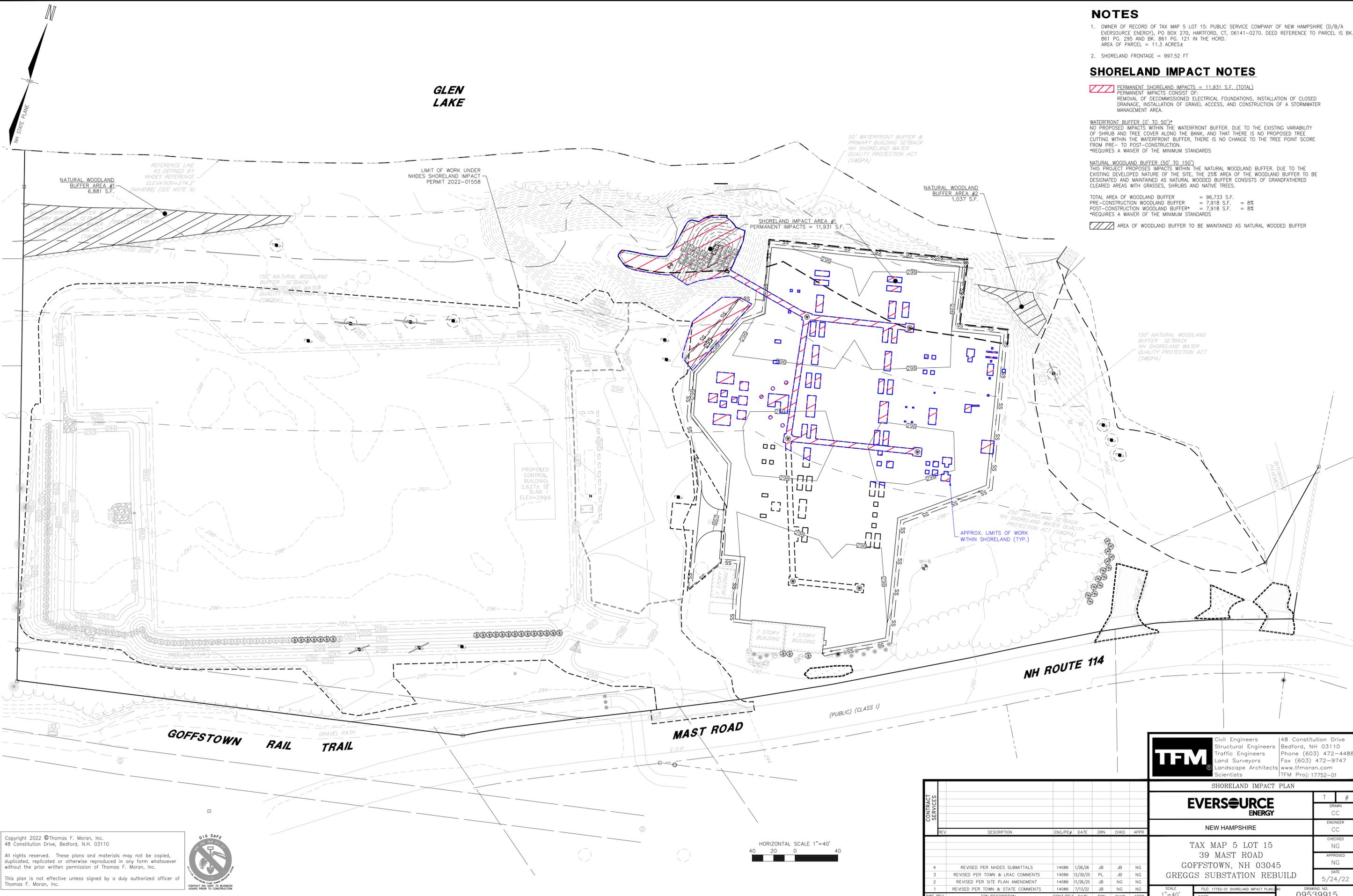
 PERMANENT SHORELAND IMPACTS = 11,931 S.F. (TOTAL)
PERMANENT IMPACTS CONSIST OF:
REMOVAL OF DECOMMISSIONED ELECTRICAL FOUNDATIONS, INSTALLATION OF CLOSED DRAINAGE, INSTALLATION OF GRAVEL ACCESS, AND CONSTRUCTION OF A STORMWATER MANAGEMENT AREA.

WATERFRONT BUFFER (0' TO 50')*
NO PROPOSED IMPACTS WITHIN THE WATERFRONT BUFFER. DUE TO THE EXISTING VARIABILITY OF SHRUB AND TREE COVER ALONG THE BANK, AND THAT THERE IS NO PROPOSED TREE CUTTING WITHIN THE WATERFRONT BUFFER, THERE IS NO CHANGE TO THE TREE POINT SCORE FROM PRE- TO POST-CONSTRUCTION.
*REQUIRES A WAIVER OF THE MINIMUM STANDARDS

NATURAL WOODLAND BUFFER (50' TO 150')
THIS PROJECT PROPOSES IMPACTS WITHIN THE NATURAL WOODLAND BUFFER. DUE TO THE EXISTING DEVELOPED NATURE OF THE SITE, THE 25% AREA OF THE WOODLAND BUFFER TO BE DESIGNATED AND MAINTAINED AS NATURAL WOODED BUFFER CONSISTS OF GRANDFATHERED CLEARED AREAS WITH GRASSES, SHRUBS AND NATIVE TREES.

TOTAL AREA OF WOODLAND BUFFER = 96,733 S.F.
PRE-CONSTRUCTION WOODLAND BUFFER = 7,918 S.F. = 8%
POST-CONSTRUCTION WOODLAND BUFFER** = 7,918 S.F. = 8%
*REQUIRES A WAIVER OF THE MINIMUM STANDARDS

 AREA OF WOODLAND BUFFER TO BE MAINTAINED AS NATURAL WOODED BUFFER



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REV	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
4	REVISED PER NHDES SUBMITTALS	14086	1/26/26	JB	JB	NC
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	PL	JB	NC
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NC	NC
1	REVISED PER TOWN & STATE COMMENTS	14086	7/13/22	JB	NC	NC

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

148 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com
TFM Proj: 17752-01

SHORELAND IMPACT PLAN

EVERSOURCE ENERGY	T	#
NEW HAMPSHIRE	CC	CC
TAX MAP 5 LOT 15 39 MAST ROAD GOFFSTOWN, NH 03045 GREGGS SUBSTATION REBUILD	NG	NG
	APPROVED	DATE
	NG	5/24/22

SCALE: 1"=40'
FILE: 17752-01 SHORELAND IMPACT PLAN.dwg
DRAWING NO.: 09539915

GROUND COVER LEGEND

- PRE-CONSTRUCTION IMPERVIOUS AREA = 100,739 S.F. (2.31± AC) (VALUE A)
- PRE-CONSTRUCTION PERVIOUS AREA = 144,401 S.F. (3.31± AC)

NHDES SHORELAND CALCULATIONS

- TOTAL AREA WITHIN 250-FT REFERENCE LINE = 245,140 S.F. (5.63± AC) (VALUE C)
- PERCENTAGE OF LOT COVERED BY PRE-CONSTRUCTION IMPERVIOUS AREA (VALUE A)/(VALUE C)x100 = (100,739 S.F.)/(245,140 S.F.)x100 = 41.1% (VALUE D)
- PRE-CONSTRUCTION NATURAL WOODLAND = 7,818 S.F. (0.18± AC) (VALUE F)
- TOTAL AREA BETWEEN 50-FT AND 150-FT REFERENCE LINE = 96,733 S.F. (2.22 ± AC) (VALUE G)
- 25% NATURAL WOODLAND TO REMAIN = (0.25 x VALUE G) = (0.25 x 96,733 S.F.) = 24,183 S.F. (VALUE H)

GLEN LAKE



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TFM Civil Engineers 148 Constitution Drive
 Structural Engineers Bedford, NH 03110
 Traffic Engineers Phone (603) 472-4488
 Land Surveyors Fax (603) 472-9747
 Landscape Architects www.tfmoran.com
 Scientists TFM Proj: 17752-01

REV	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
4	REVISED PER NHDES SUBMITTAL	14086	1/26/26	JB	JB	NG
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	PL	JB	NG
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NG	NG
1	REVISED PER TOWN & STATE COMMENTS	14086	7/13/22	JB	NG	NG

CONTRACT SERVICES		T #	
EVERSOURCE ENERGY		CC	DRAWN
NEW HAMPSHIRE		CC	ENGINEER
TAX MAP 5 LOT 15		NG	CHECKED
39 MAST ROAD		NG	APPROVED
GOFFSTOWN, NH 03045		NG	DATE
GREGGS SUBSTATION REBUILD		NG	5/24/22

SCALE: 1"=40' FILE: 17752-01_SHORELAND_IMPACT_PLANS.DWG DRAWING NO. 5/24/22
 DATE: 5/24/22

GROUND COVER LEGEND

-  POST-CONSTRUCTION IMPERVIOUS AREA = 101,524 S.F. (2.33± AC) (VALUE B)
-  POST-CONSTRUCTION PERVIOUS AREA = 143,616 S.F. (3.30± AC)

NHDES SHORELAND CALCULATIONS

TOTAL AREA WITHIN 250-FT REFERENCE LINE = 245,140 S.F. (5.63± AC) (VALUE C)
 PERCENTAGE OF LOT COVERED BY POST-CONSTRUCTION IMPERVIOUS AREA
 (VALUE B)/(VALUE C)x100 = (101,524 S.F.)/(245,140 S.F.)x100 = 41.4% (VALUE E)
 TOTAL AREA BETWEEN 50-FT AND 150-FT REFERENCE LINE = 96,733 S.F. (2.22 ± AC) (VALUE G)
 25% NATURAL WOODLAND TO REMAIN = (0.25 x VALUE G) = (0.25 x 96,733 S.F.) = 24,183 S.F. (VALUE H)
 MINIMUM NATURAL WOODLAND TO REMAIN = 7,918 S.F. (0.18± AC) (VALUE F)
 POST-CONSTRUCTION NATURAL WOODLAND = 7,918 S.F. (0.18 ± AC)

GLEN LAKE



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REV	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
4	REVISED PER NHDES SUBMITTALS	14086	1/26/26	JIB	NG	NG
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JIB	NG	NG
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JIB	NG	NG
1	REVISED PER TOWN & STATE COMMENTS	14086	7/15/22	JIB	NG	NG

POST-CONSTRUCTION GROUND COVER PLAN

EVERSOURCE ENERGY

NEW HAMPSHIRE

TAX MAP 5 LOT 15
 39 MAST ROAD
 GOFFSTOWN, NH 03045
 GREGGS SUBSTATION REBUILD

T	#
CC	DRAWN
CC	ENGINEER
NG	CHECKED
NG	APPROVED
DATE	5/24/22

SCALE: 1"=40'
 FILE: 17752-01_SHORELAND_IMPACT_PLAN.dwg
 DRAWING NO. **FIGURE 2**

GENERAL INFORMATION

OWNER
TAX MAP 233 LOT 2
PUBLIC SERVICE CO OF NH
(DBA EVERSOURCE ENERGY)
PO BOX 270
HARTFORD, CT 06141-0270

APPLICANT/PREPARED FOR
PUBLIC SERVICE CO OF NH
(DBA EVERSOURCE ENERGY)
C/O KURT NELSON
13 LEGENDS DRIVE
HOOKSETT, NH 03106

ASSOCIATED PROFESSIONALS
CIVIL ENGINEER
TFMORAN, INC.
48 CONSTITUTION DRIVE
BEDFORD, NH 03110
603-472-4488
NICHOLAS GOLON, PE, PRINCIPAL

GEOTECHNICAL SERVICES
S.W.COLE ENGINEERING, INC.
13 DELTA DRIVE #8
LONDONDERRY, NH 03053
CHAD MICHAUD, PE, SENIOR
GEOTECHNICAL ENGINEER

RESOURCE LIST

GOFFSTOWN PLANNING DEPT.
16 MAIN STREET
GOFFSTOWN, NH
(603) 497-8990
JO ANN DUFFY, PLANNING & ECONOMIC DEVELOPMENT DIRECTOR

GOFFSTOWN ZONING DEPT.
16 MAIN STREET
GOFFSTOWN, NH
(603) 497-8990
JO ANN DUFFY, PLANNING & ECONOMIC DEVELOPMENT DIRECTOR

ABUTTERS

TAX MAP 5 LOT 15-2
GREGG FALLS HYDRO ASSOCIATES
C/O EAGLE CREEK RENEW ENERY
NESHKORO, NH 54960

TAX MAP 5 LOTS 15-4 & 59A
TAX MAP 19 LOTS 47-4 & 47-5
TOWN OF GOFFSTOWN
16 MAIN STREET
GOFFSTOWN, NH 03045

GOFFSTOWN BUILDING DEPT.
16 MAIN STREET
GOFFSTOWN, NH
(603) 497-8990
JACK SHEPHARD, BUILDING INSPECTOR

GOFFSTOWN PUBLIC WORKS
404 ELM STREET
GOFFSTOWN, NH
(603) 497-3617
ADAM JACOBS, DIR. PUBLIC WORKS

TAX MAP 5 LOT 58
CHOQUETTE, MICHAEL G & JUNE M
77 MAST ROAD
GOFFSTOWN, NH 03045

TAX MAP 5 LOT 59
48 MAST RD LLC
450 BEDFORD ROAD
NEW BOSTON, NH 03070

GOFFSTOWN POLICE DEPT.
326 MAST ROAD
GOFFSTOWN, NH
(603) 497-4858
ERIC SERENO, CHIEF OF POLICE

GOFFSTOWN FIRE DEPT.
18 CHURCH STREET
GOFFSTOWN, NH 03045
(603) 497-3619
SHAWN MURRAY, FIRE CHIEF

GRASMERE VILLAGE WATER PRECINCT.
PO BOX 689
183 NO. MAST ROAD
GOFFSTOWN, NH 03045
(603) 497-3619

This Site Plan is approved in accordance with the Town of Goffstown Development Regulations.

Date: _____

Signed: _____

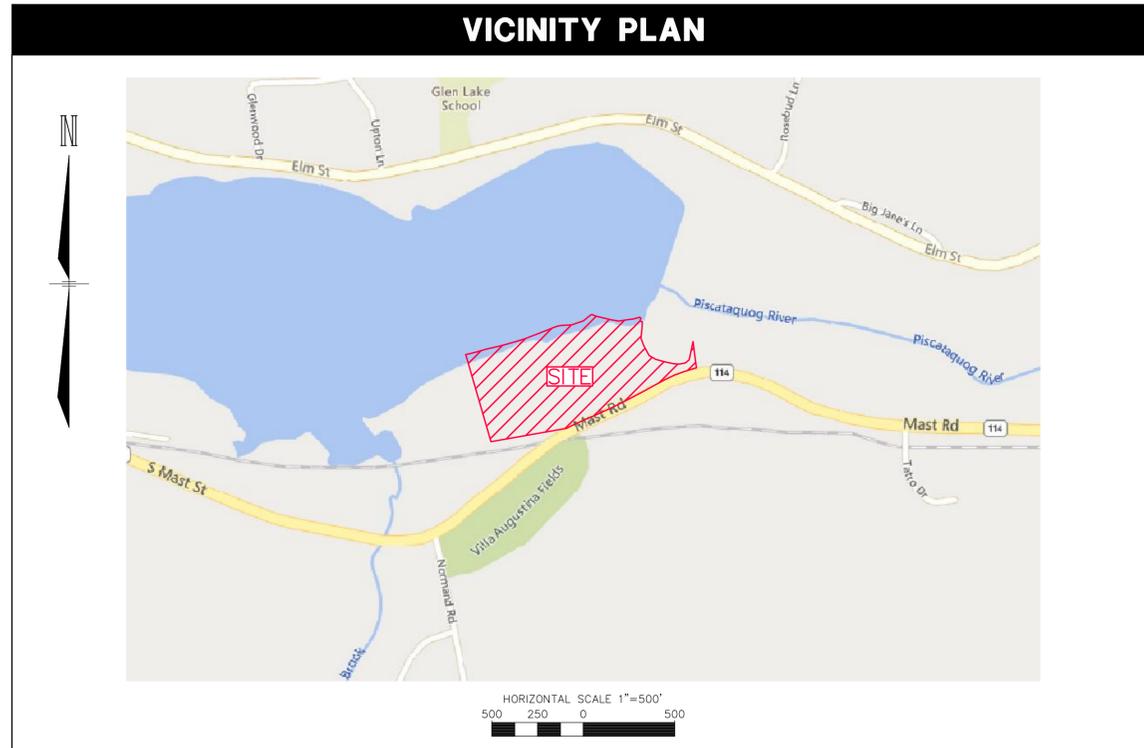
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GREGGS SUBSTATION REBUILD

39 MAST ROAD GOFFSTOWN, NEW HAMPSHIRE



INDEX OF SHEETS	
SHEET	SHEET TITLE
095399000	COVER SHEET
095399001	NOTES & LEGEND
095399002	NOTES
095399003	EXISTING CONDITIONS PLAN
095399004	SITE PREPARATION PLAN
095399005	OVERALL SITE LAYOUT PLAN
095399006	SITE LAYOUT PLAN
095399007	GRADING & DRAINAGE PLAN
095399008	UTILITY PLAN
095399009	STORMWATER MANAGEMENT PLAN
095399010	LANDSCAPE PLAN
095399011 TO 095399013	DETAILS
095399014	AMENDED EFFLUENT DISPOSAL SYSTEM DESIGN PLAN

PERMITS/APPROVALS			
	NUMBER	APPROVED	EXPIRES
GOFFSTOWN PLANNING BOARD SITE PLAN REVIEW		7/28/22	
GOFFSTOWN PLANNING BOARD SITE PLAN AMENDMENT REVIEW		1/22/26	
NHDES ALT. OF TERRAIN	AoT-2194	7/19/22	7/19/27
NHDES ALT. OF TERRAIN AMENDMENT			
NHDES SHORELAND	2022-01558	8/17/22	8/17/27
NHDES SHORELAND			
NHDES SEPTIC	eCA2022091503	9/15/22	9/15/26
NHDOT DRIVEWAY	05-1750020	10/5/22	

VARIANCES

THE FOLLOWING VARIANCES FROM THE TOWN OF GOFFSTOWN ZONING ORDINANCE WERE GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON MAY 3, 2022:

- ARTICLE 5.16.1 - UTILITY STRUCTURE SETBACK TO PERMIT UTILITY SERVICE STRUCTURES TO BE LOCATED 2-FT AND 12-FT FROM THE PROPERTY LINE WHERE 50-FT IS REQUIRED
- ARTICLE 5.16.2 - SCREENING TO PERMIT AN 8-FT HIGH FENCE WITH 1-FT BARB WIRE ARM AT THE EXISTING AND PROPOSED SUBSTATION WHERE A SAFETY FENCE OF NOT LESS THAN 6-FT HIGH WITH LANDSCAPE SCREENING OF AT LEAST 75% OPAQUENESS IS REQUIRED

WAIVERS

THE FOLLOWING WAIVERS FROM THE TOWN OF GOFFSTOWN DEVELOPMENTS REGULATIONS WERE GRANTED BY THE PLANNING BOARD ON JUNE 9, 2022:

- APPENDIX C, SECTION 1.C.1 TO PERMIT AN INFILTRATION BASIN
- APPENDIX F, SECTION 2, ITEMS 2, 3, & 4 TO PERMIT AN ALTERNATIVE LANDSCAPE DESIGN

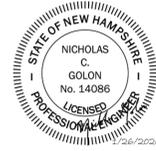
CONDITIONAL USE PERMIT

THE FOLLOWING CONDITIONAL USE PERMIT FROM THE TOWN OF GOFFSTOWN ZONING ORDINANCE WAS GRANTED BY THE PLANNING BOARD ON JUNE 9, 2022:

- ARTICLE 13.3.7.1: USE IN THE WETLAND AND SURFACE WATER CONSERVATION (WSWC) DISTRICT TO PERMIT CONSTRUCTION AND REPLACEMENT OF POWER LINES WITHIN THE WSWC DISTRICT

THE FOLLOWING CONDITIONAL USE PERMIT FROM THE TOWN OF GOFFSTOWN ZONING ORDINANCE WAS GRANTED BY THE PLANNING BOARD ON JANUARY 22, 2026:

- ARTICLE 13.3.7.1: USE IN THE WETLAND AND SURFACE WATER CONSERVATION (WSWC) DISTRICT TO PERMIT CONSTRUCTION WITHIN THE WSWC DISTRICT



TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com
TFM Proj: 17752-01

CONTRACT SERVICES		DESCRIPTION		ENG/PE#	DATE	DRN	CHKD	APPR
0	ISSUED FOR CONSTRUCTION - T1412A01				3/29/23	JB	NC	NG
4	REVISED PER NHDES SUBMITTALS	14086	1/26/26	JB	NC	NC		
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JB	NC	NC		
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NC	NC		
1	ECN-C-23-001 SEPTIC PLAN UPDATE		6/16/23	JB	NC	NC		

COVER SHEET		T	1
EVERSOURCE ENERGY		DRN	NC
NEW HAMPSHIRE		ENGINEER	JB
TAX MAP 5 LOT 15 GREGGS SUBSTATION REBUILD COVER SHEET		CHECKED	NG
39 MAST RD, GOFFSTOWN, NH 03045		APPROVED	NG
		DATE	4/8/22
SCALE AS NOTED	FILE:095399000.DWG	DRAWING NO.	095399000

LEGEND

Table with 2 columns: PROPOSED (line styles and symbols) and descriptions (PROPERTY LINE, ZONING LINE, EASEMENT, etc.)

Table with 2 columns: PROPOSED (line styles and symbols) and descriptions (CONCRETE, GRAVEL, HEAVY DUTY PAVEMENT, etc.)

GENERAL NOTES

- 1. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.

GRADING NOTES

- 1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF GOFFSTOWN, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

UTILITY NOTES

- 1. ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SITE PREPARATION NOTES

- 1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.

NHF&G AOT PERMIT CONDITIONS RELATED TO THREATENED & ENDANGERED SPECIES

- 1. ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME (NHF&G) DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFORVIEW@WILDLIFE.NH.GOV.



TFM logo and contact information: Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists. 148 Constitution Drive, Bedford, NH 03110.

NOTES & LEGEND table with columns for T, O, DRAWN, ENGINEER, CHECKED, APPROVED, DATE, SCALE, FILE, IMAGE, DRAWING NO.

Table with 7 columns: CONTRACT SERVICES, REV, DESCRIPTION, ENG/PE#, DATE, DRN, CHKD, APPR.

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EVERSOURCE PROJ: 17752-00 Survey.dwg - Existing.dwg
7/14/2022 9:28 PM - ncpoln - E:\T\Projects\17752-00 Eversource Greggs Substation\Survey\Drawings\17752-00 Survey.dwg - Existing.dwg

REFERENCE PLANS

- GLEN LAKE AND GREGGS FALLS PROPERTY GOFFSTOWN, N.H. R-30 BY PUBLIC SERVICE CO OF NEW HAMPSHIRE ENGINEERING DEPARTMENT 8-9-67, RECORDED IN THE HCRD AS PLAN NO. 3705.
- SURVEY OF BOSTON & MAINE RAILROAD CORRIDOR GOFFSTOWN, HILLSBOROUGH COUNTY, N.H. PREPARED FOR TOWN OF GOFFSTOWN SEPTEMBER 10, 2007, BY PROVAN & LORBER, INC., RECORDED IN THE HCRD AS PLAN NO. 3588B.
- EASEMENT AND LICENSE AREA PLANS (MASTER LAYOUT PLAN) BICYCLE-PEDESTRIAN RAIL-TRAIL MAST ROAD-ROUTE 114 IN GOFFSTOWN, NEW HAMPSHIRE PREPARED FOR TOWN OF GOFFSTOWN FEBRUARY 5, 2014, BY VANASSE HANGEN BRUSTIN, INC., RECORDED IN THE HCRD AS PLAN NO. 38422.
- PLAN OF LAND GOFFSTOWN, NH FOR GREGGS FALLS HYDRO ELECTRIC ASSOCIATES DECEMBER 1983, BY JOHN W. DURGIN ASSOCIATES, INC. RECORDED IN THE HCRD AS PLAN NO. 17824.

LEGEND

- CHAINLINK FENCE
- EDGE OF PAVEMENT
- SIGN
- GUY ANCHOR
- OVERHEAD UTILITIES
- STONEWALL
- UTILITY POLE
- GRANITE/CONCRETE BOUND
- IRON PIN/PIPE
- DRILL HOLE
- CONCRETE
- BUILDING
- CONIFEROUS TREE

WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON 10/21/2021 BY SHARON E. MONAHAN CWS #00227 AND CONFIRMED BY JASON AUBE CWS #313 ON 7/15/2022. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCSS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 HTTP://WETLAND_PLANTS.USACE.ARMY.MIL.

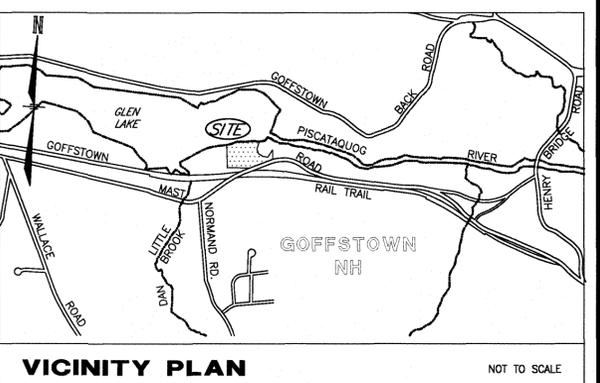


NOTES

- OWNER OF RECORD OF MAP 5 LOT 15: PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE D/B/A EVERSOURCE ENERGY PO BOX 270 HARTFORD, CT DEED REFERENCE TO PARCEL: B.861 P.295 AND B.861 P.121 IN THE HCRD. AREA OF PARCEL: 11.3 ACRES±.
- 5-15 INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF AN EXISTING CONDITIONS SURVEY OF LOT 5-15 AS OF THE DATE OF FIELD SURVEY. FIELD SURVEY PERFORMED ON OCTOBER 28, 2021.
- CURRENT ZONING IS AGRICULTURAL. MIN. LOT SIZE: 2.0 ACRES. MIN. LOT FRONTAGE: 200 FEET. MAX. BUILDING HEIGHT: 35 FEET. MIN. BUILDING SETBACKS: *FRONT: 35 FEET *SIDE: 25 FEET *REAR: 30 FEET (FOR PUBLIC UTILITY STRUCTURES SEE ZONING SECTION 5.16.1, 50 FOOT STRUCTURE SETBACK FROM ALL PROPERTY LINES.) *LOT IS SUBJECT TO SHORELAND PROTECTION.

NOTES (CONT.)

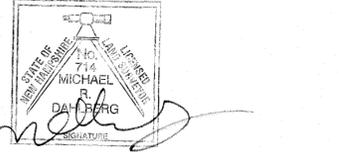
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR HILLSBOROUGH COUNTY ALL JURISDICTIONS, NEW HAMPSHIRE, MAP NUMBER 3301C0214D EFFECTIVE DATE: SEPTEMBER 25, 2008, INDICATES THAT THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN FLOOD ZONE AE.
- VERTICAL DATUM: NAVD 1988. HORIZONTAL DATUM: NAD 1983. BENCHMARKS SET: AS NOTED.
- EASEMENTS, RIGHTS AND RESTRICTIONS:
 - B.1972 P.415: RESERVATION OF ACCESS TO LOT 5-15-1.
 - B.8747 P.2564: RECREATIONAL TRAIL LICENSE AGREEMENT TO TOWN OF GOFFSTOWN.
 - B.3176 P.179 AND B.3162 P.26: AGREEMENT AND CONSENT TO JOINT USE BETWEEN PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND GREGG FALLS HYDROELECTRIC ASSOCIATES.
 - B.2492 P.36, B.3036 P.365 AND B.1972 P.415: RIGHTS OF ACCESS TO STATE AND LOT 5-15-2.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
- REFERENCE LINE IS DEFINED BY ELEVATION 274.9' ON THE NGVD 29 DATUM. TFM HAS CONVERTED THE ELEVATION TO NAVD 88, HAVING AN ADJUSTED ELEVATION OF 274.2'. LIMIT OF BOUNDARY OF LOT 5-15 MAY EXTEND INTO GLEN LAKE.



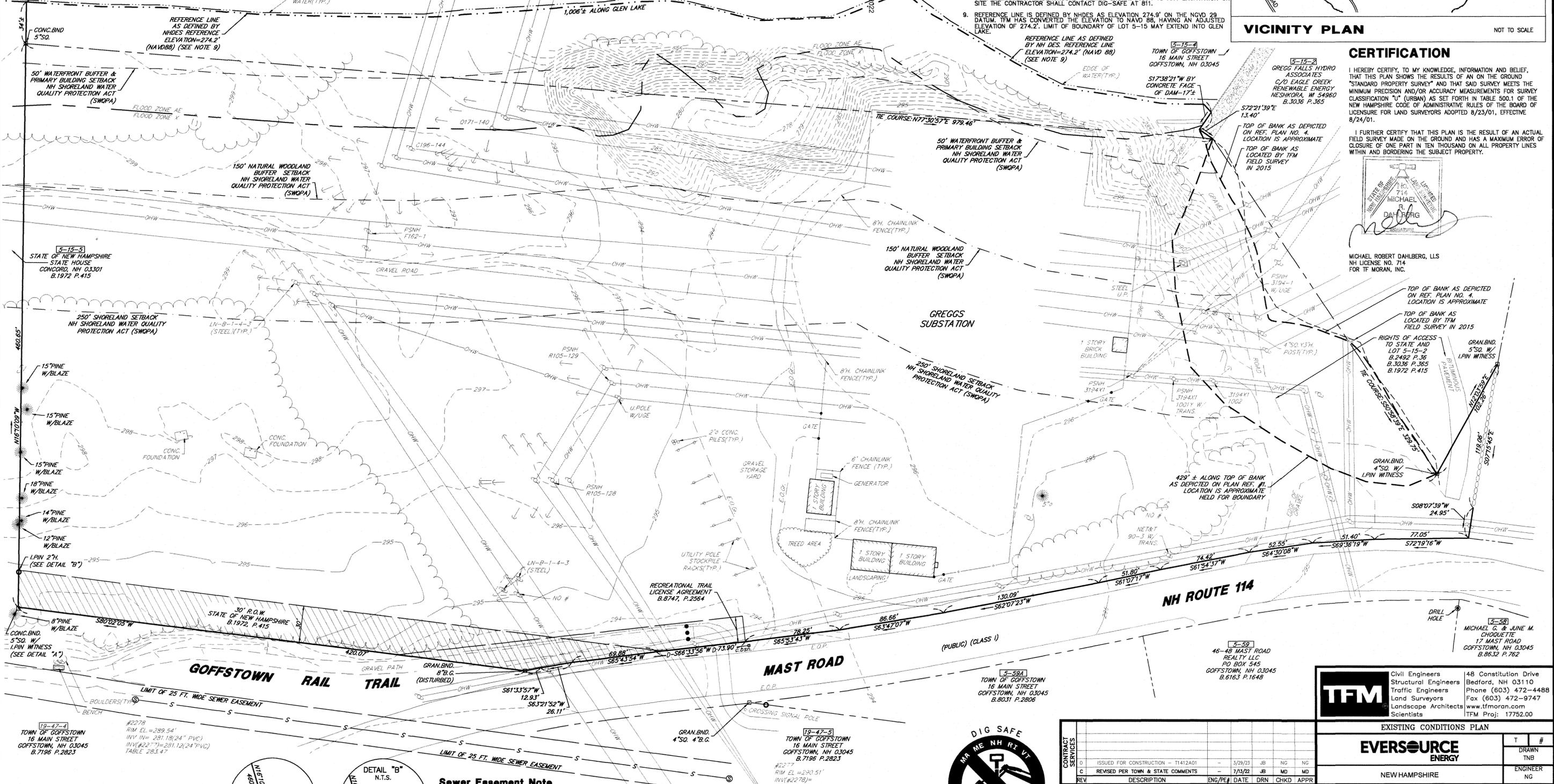
CERTIFICATION

I HEREBY CERTIFY TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 8/23/01, EFFECTIVE 8/24/01.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



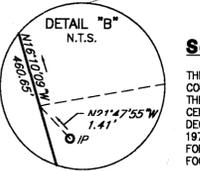
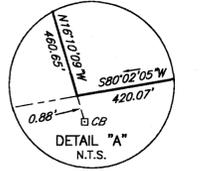
MICHAEL ROBERT DAHLBERG, LLS
NH LICENSE NO. 714
FOR TFMORAN, INC.



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Sewer Easement Note

THE DECLARATION OF TAKING RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS IN BOOK 3909 PAGE 227 STATES THAT THE PROPOSED SEWER EASEMENT IS 25 FEET WIDE CENTERED ON THE CENTERLINE OF LOCATION OF THE FORMER B&M RAILROAD, AND THE DECLARATION OF TAKING MAKES REFERENCE TO PLAN #19724. PLAN 19724 SHOWS THE PROPOSED SEWER LINE TRAVERSING BACK AND FORTH ACROSS THE CENTERLINE. THE PRESUMPTION IS THAT THE 25 FOOT EASEMENT IS CENTERED ON THE SEWERLINE AS CONSTRUCTED



CONTRACT SERVICES	DESCRIPTION	ENG/PE	DATE	DRN	CHKD	APPR
D	ISSUED FOR CONSTRUCTION - T1412A01		3/29/23	JB	NG	NG
C	REVISED PER TOWN & STATE COMMENTS		7/13/22	JB	MD	MD
REV	DESCRIPTION					

TFMORAN Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

48 Constitution Drive, Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com
TFM Proj: 17752.00

EXISTING CONDITIONS PLAN

EVERSOURCE ENERGY

NEW HAMPSHIRE

TAX MAP 5 LOT 15
39 MAST ROAD
GOFFSTOWN, NEW HAMPSHIRE
GREGGS SUBSTATION REBUILD

T	#	DATE
DRAWN	TNB	
ENGINEER	NG	
CHECKED	NG	
APPROVED	HGM	
DATE		11/5/21

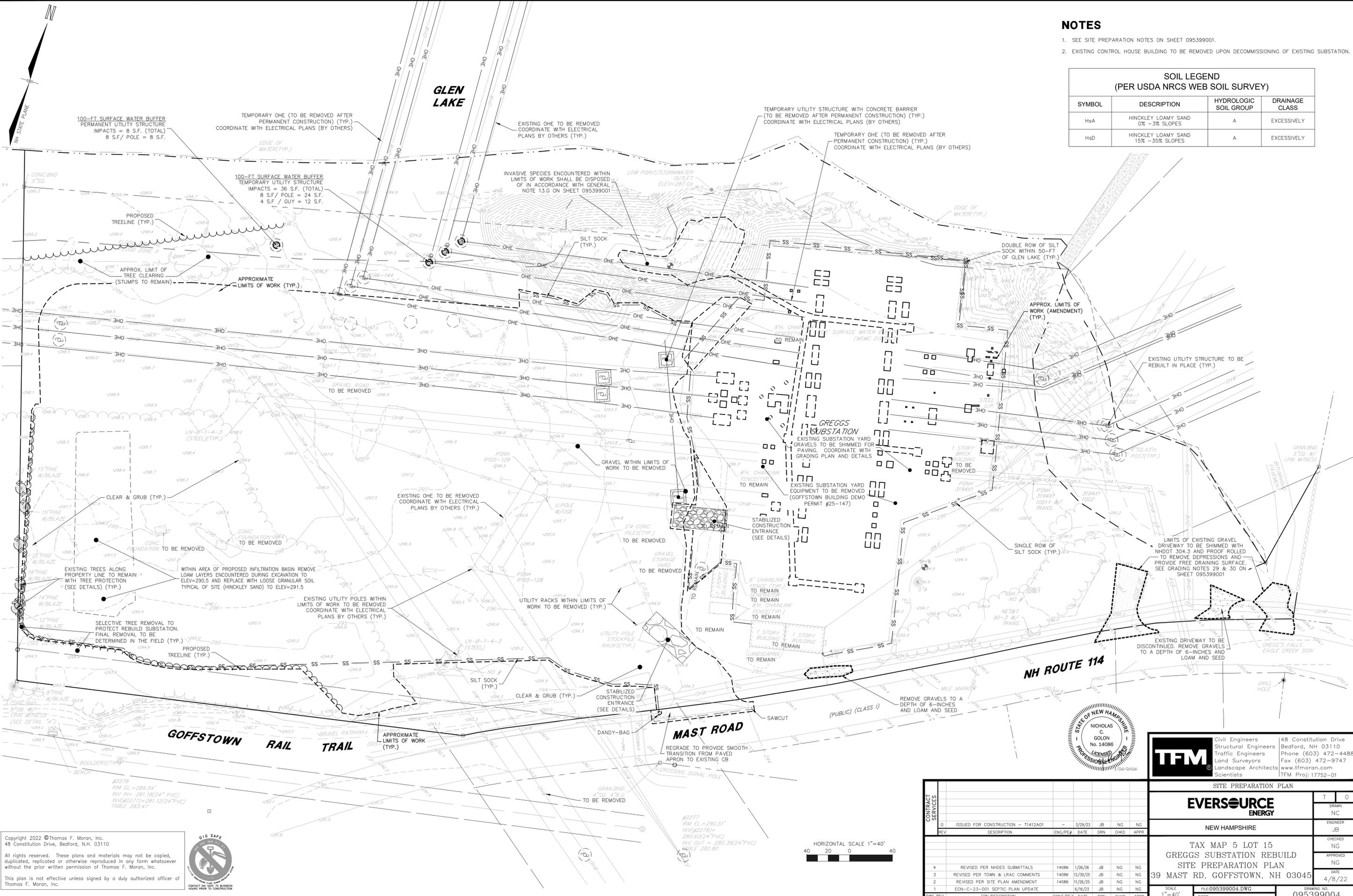
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FILE: 17752-00 SURVEY.DWG
DRAWING NO: 095399003

NOTES

- 1. SEE SITE PREPARATION NOTES ON SHEET 095399001.
- 2. EXISTING CONTROL HOUSE BUILDING TO BE REMOVED UPON DECOMMISSIONING OF EXISTING SUBSTATION.

SOIL LEGEND (PER USDA NRCS WEB SOIL SURVEY)

SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP	DRAINAGE CLASS
HsA	HINCKLEY LOAMY SAND 0% - 3% SLOPES	A	EXCESSIVELY
HsD	HINCKLEY LOAMY SAND 15% - 35% SLOPES	A	EXCESSIVELY



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CONTRACT SERVICES	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
0	ISSUED FOR CONSTRUCTION - T1412A01		3/29/23	JB	NC	NG
4	REVISED PER NHDES SUBMITTALS	14086	1/26/26	JB	NC	NC
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JB	NC	NC
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NC	NC
1	ECN-C-23-001 SEPTIC PLAN UPDATE		6/16/23	JB	NC	NG

TFM Civil Engineers 148 Constitution Drive
Structural Engineers Bedford, NH 03110
Traffic Engineers Phone (603) 472-4488
Land Surveyors Fax (603) 472-9747
Landscape Architects www.tfmoran.com
Scientists TFM Proj: 17752-01

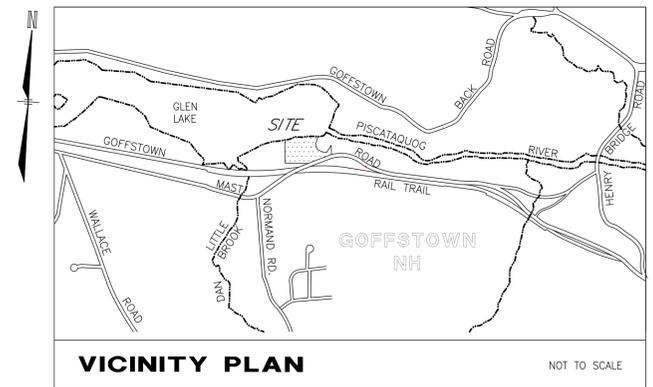
EVERSOURCE ENERGY

NEW HAMPSHIRE

TAX MAP 5 LOT 15
GREGG SUBSTATION REBUILD
SITE PREPARATION PLAN
39 MAST RD, GOFFSTOWN, NH 03045

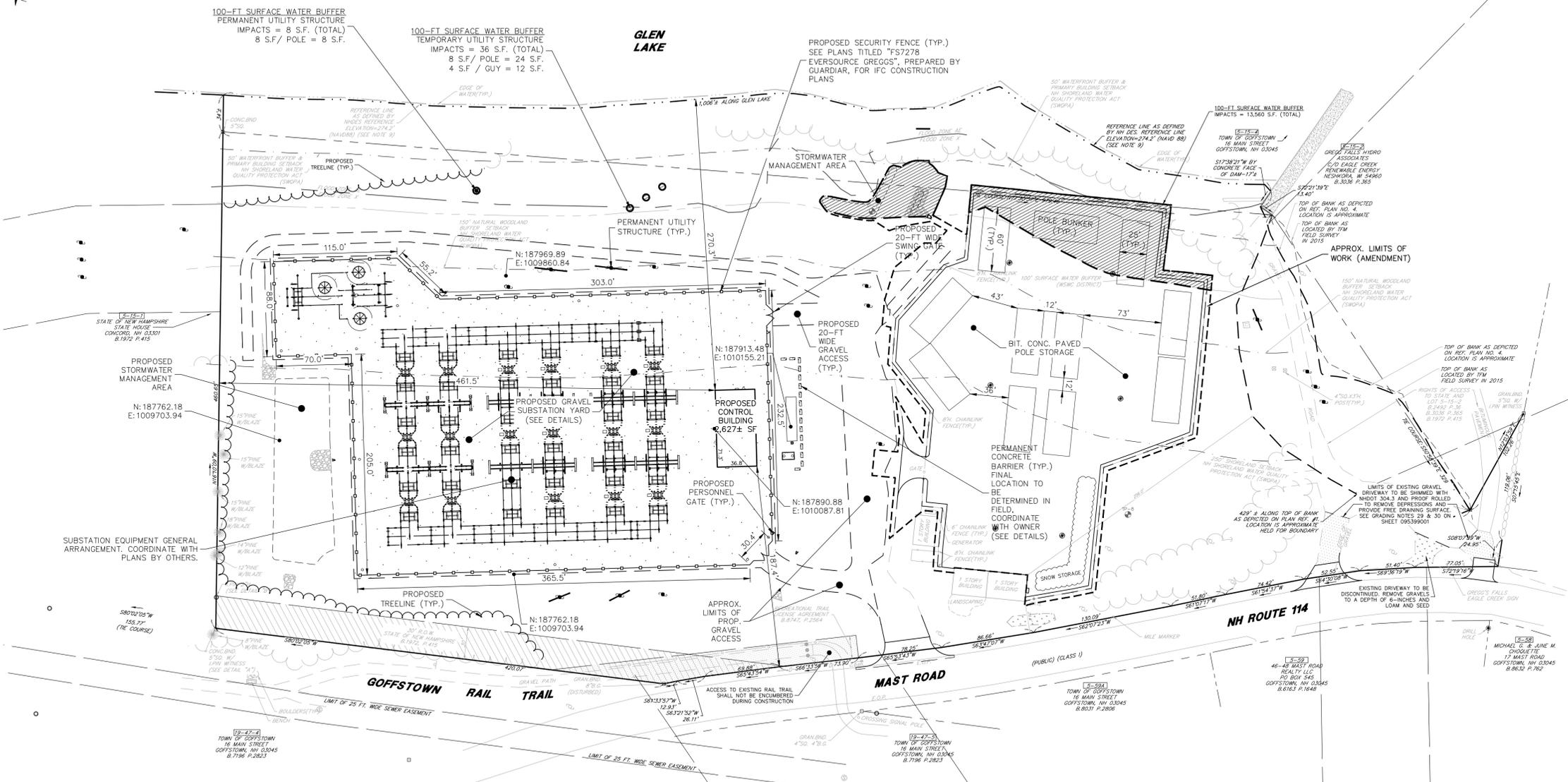
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FILE: 095399004.DWG
DRAWING NO: 095399004

T O
DRAWN NC
ENGINEER JB
CHECKED NG
APPROVED NG
DATE 4/8/22



NOTES

- 1. OWNER OF RECORD OF MAP 5 LOT 15: PUBLIC SERVICE CO OF NH, PO BOX 270, HARTFORD, CT 06141-0270...
2. THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A SUBSTATION YARD, INSTALL ELECTRIC EQUIPMENT UPGRADES, A CONTROL BUILDING, AND CONVERSION OF THE FORMER EVERSOURCE ENERGY GREGGS SUBSTATION TO A PAVED POLE STORAGE YARD WITH ASSOCIATED SITE IMPROVEMENTS.
3. CURRENT ZONING IS AGRICULTURAL (A) ZONING DISTRICT.
MIN. LOT SIZE: 2.0 ACRES
MIN. LOT FRONTAGE: 200'
MIN. BUILDING SETBACKS: FRONT 50', SIDE 50', REAR 50'
MAX. BUILDING COVERAGE: 100%
MAX. BUILDING HEIGHT: 35'



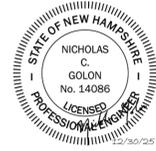
This Site Plan is approved in accordance with the Town of Goffstown Development Regulations.
Date:
Signed:

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WAIVERS
THE FOLLOWING WAIVERS FROM THE TOWN OF GOFFSTOWN DEVELOPMENTS REGULATIONS WERE GRANTED BY THE PLANNING BOARD ON JUNE 9, 2022:
1. APPENDIX C, SECTION 1.C.1 TO PERMIT AN INFILTRATION BASIN
2. APPENDIX F, SECTION 2, ITEMS 2, 3, & 4 TO PERMIT AN ALTERNATIVE LANDSCAPE DESIGN

CONDITIONAL USE PERMIT
THE FOLLOWING CONDITIONAL USE PERMIT FROM THE TOWN OF GOFFSTOWN ZONING ORDINANCE WAS GRANTED BY THE PLANNING BOARD ON JUNE 9, 2022:
1. ARTICLE 13.3.7.1: USE IN THE WETLAND AND SURFACE WATER CONSERVATION (WSWC) DISTRICT TO PERMIT CONSTRUCTION AND REPLACEMENT OF POWER LINES WITHIN THE WSWC DISTRICT
2. ARTICLE 13.3.7.1: USE IN THE WETLAND AND SURFACE WATER CONSERVATION (WSWC) DISTRICT TO PERMIT CONSTRUCTION WITHIN THE WSWC DISTRICT



TFM logo and contact information: Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists. 148 Constitution Drive, Bedford, NH 03110. Phone (603) 472-4488. Fax (603) 472-9747. www.tfmoran.com. TFM Proj: 17752-01

Table with columns: CONTRACT SERVICES, REV, DESCRIPTION, ENG/PE#, DATE, DRN, CHD, APPR. Row 1: ISSUED FOR CONSTRUCTION - T1412A01, 3/29/23, JB, NG, NG.

OVERALL SITE LAYOUT PLAN
EVSOURCE ENERGY logo
NEW HAMPSHIRE
TAX MAP 5 LOT 15
GREGGS SUBSTATION REBUILD
OVERALL SITE LAYOUT PLAN
39 MAST RD, GOFFSTOWN, NH 03045
SCALE: 1"=60'
FILE: 095399005.DWG
DRAWING NO: 095399005

WAIVERS

THE FOLLOWING WAIVERS FROM THE TOWN OF GOFFSTOWN DEVELOPMENTS REGULATIONS WERE GRANTED BY THE PLANNING BOARD ON JUNE 9, 2022:

- APPENDIX C, SECTION 1.C.1 TO PERMIT AN INFILTRATION BASIN
- APPENDIX F, SECTION 2, ITEMS 2, 3, & 4 TO PERMIT AN ALTERNATIVE LANDSCAPE DESIGN

CONDITIONAL USE PERMIT

THE FOLLOWING CONDITIONAL USE PERMIT FROM THE TOWN OF GOFFSTOWN ZONING ORDINANCE WAS GRANTED BY THE PLANNING BOARD ON JUNE 9, 2022:

- ARTICLE 13.3.7.1: USE IN THE WETLAND AND SURFACE WATER CONSERVATION (WSWC) DISTRICT TO PERMIT CONSTRUCTION AND REPLACEMENT OF POWER LINES WITHIN THE WSWC DISTRICT

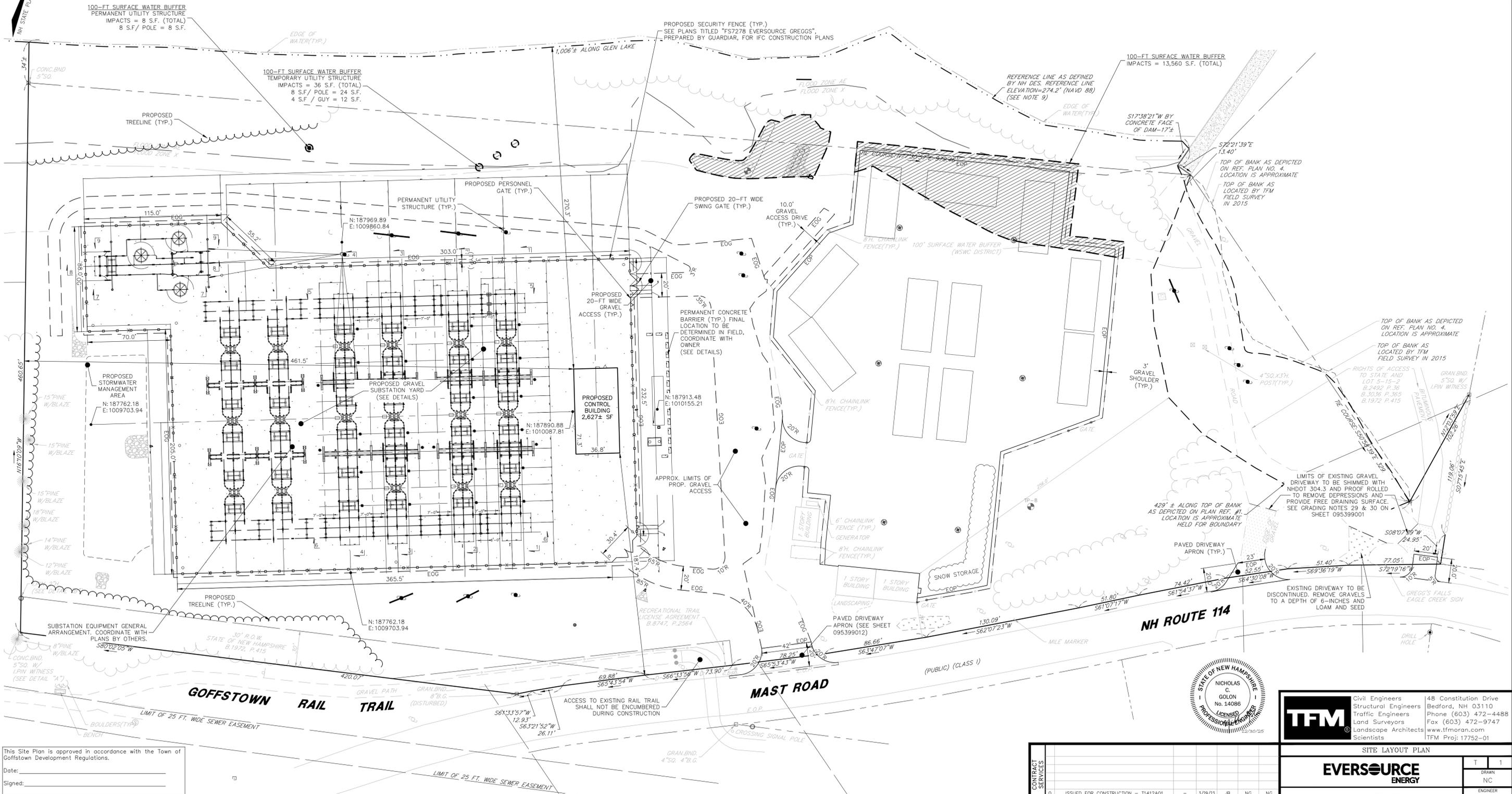
THE FOLLOWING CONDITIONAL USE PERMIT FROM THE TOWN OF GOFFSTOWN ZONING ORDINANCE IS REQUESTED FROM THE PLANNING BOARD:

- ARTICLE 13.3.7.1: USE IN THE WETLAND AND SURFACE WATER CONSERVATION (WSWC) DISTRICT TO PERMIT CONSTRUCTION WITHIN THE WSWC DISTRICT

NOTES

- SEE GENERAL NOTES ON SHEET 095399001.
- SEE SITE PLAN NOTES ON SHEET 095399005.

GLEN LAKE



This Site Plan is approved in accordance with the Town of Goffstown Development Regulations.
 Date: _____
 Signed: _____

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

HORIZONTAL SCALE 1"=40'
 40 20 0 40

CONTRACT SERVICES	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
0	ISSUED FOR CONSTRUCTION - T1412A01		3/29/23	JB	NC	NG
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JB	NC	NG
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1	ECN-C-23-001 SEPTIC PLAN UPDATE		6/16/23	JB	NC	NG

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 Structural Engineers Bedford, NH 03110
 Traffic Engineers Phone (603) 472-4488
 Land Surveyors Fax (603) 472-9747
 Landscape Architects www.tfmoran.com
 Scientists TFM Proj: 17752-01

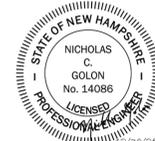
EVERSOURCE ENERGY

NEW HAMPSHIRE

TAX MAP 5 LOT 15
 GREGGS SUBSTATION REBUILD
 SITE LAYOUT PLAN
 39 MAST RD, GOFFSTOWN, NH 03045

DATE: 4/8/22

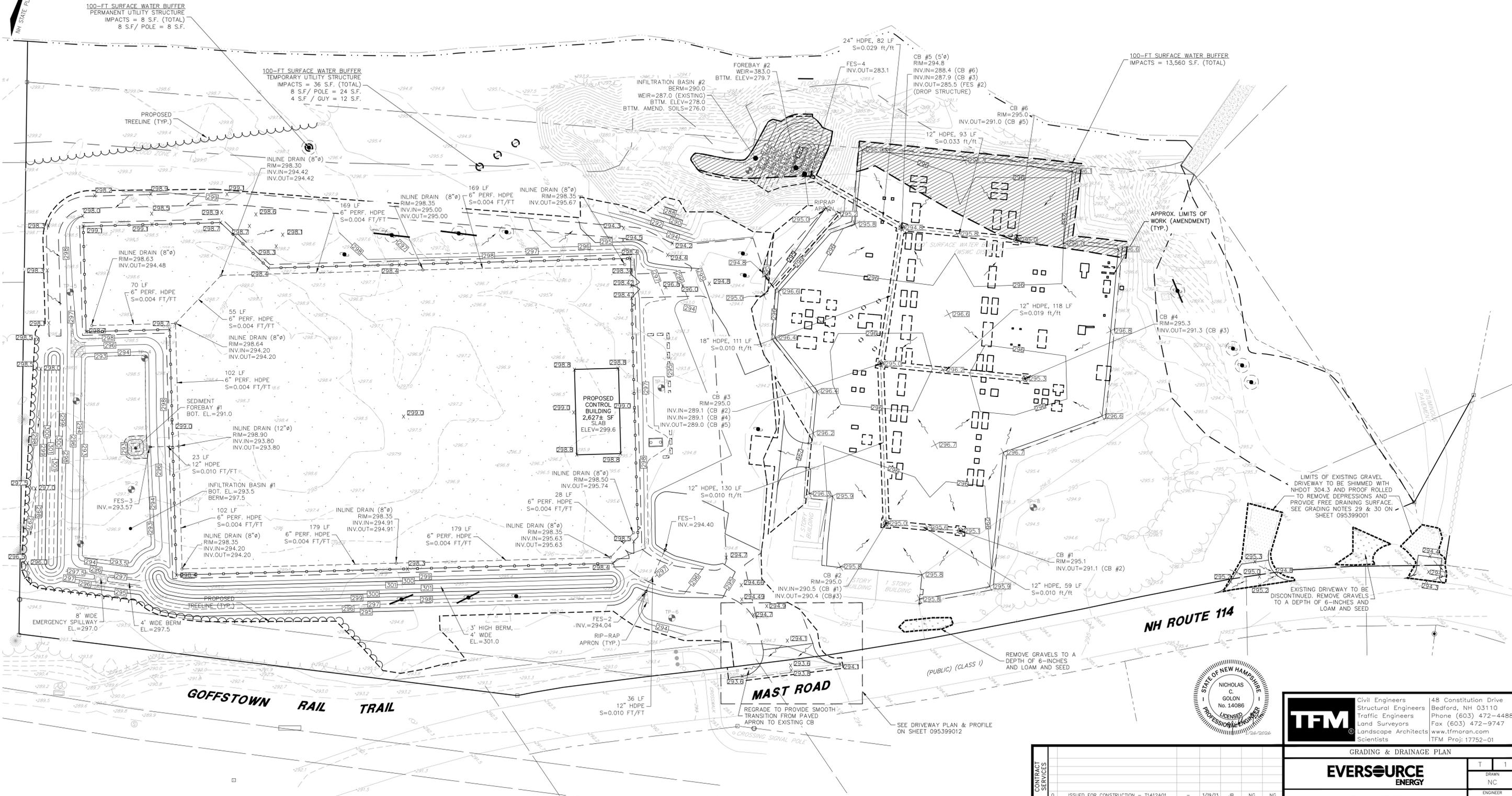
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 DRAWING NO.: 095399006



NOTES

1. SEE GRADING AND DRAINAGE NOTES ON SHEET 095399001.

GLEN LAKE



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 Traffic Engineers Phone (603) 472-4488
 Land Surveyors Fax (603) 472-9747
 Landscape Architects www.tfmoran.com
 Scientists TFM Proj: 17752-01

CONTRACT SERVICES	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
0	ISSUED FOR CONSTRUCTION - T1412A01		3/29/23	JB	NC	NG
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2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NC	NC
1	ECN-C-23-001 SEPTIC PLAN UPDATE		6/16/23	JB	NC	NC

GRADING & DRAINAGE PLAN

EVERSOURCE ENERGY

NEW HAMPSHIRE

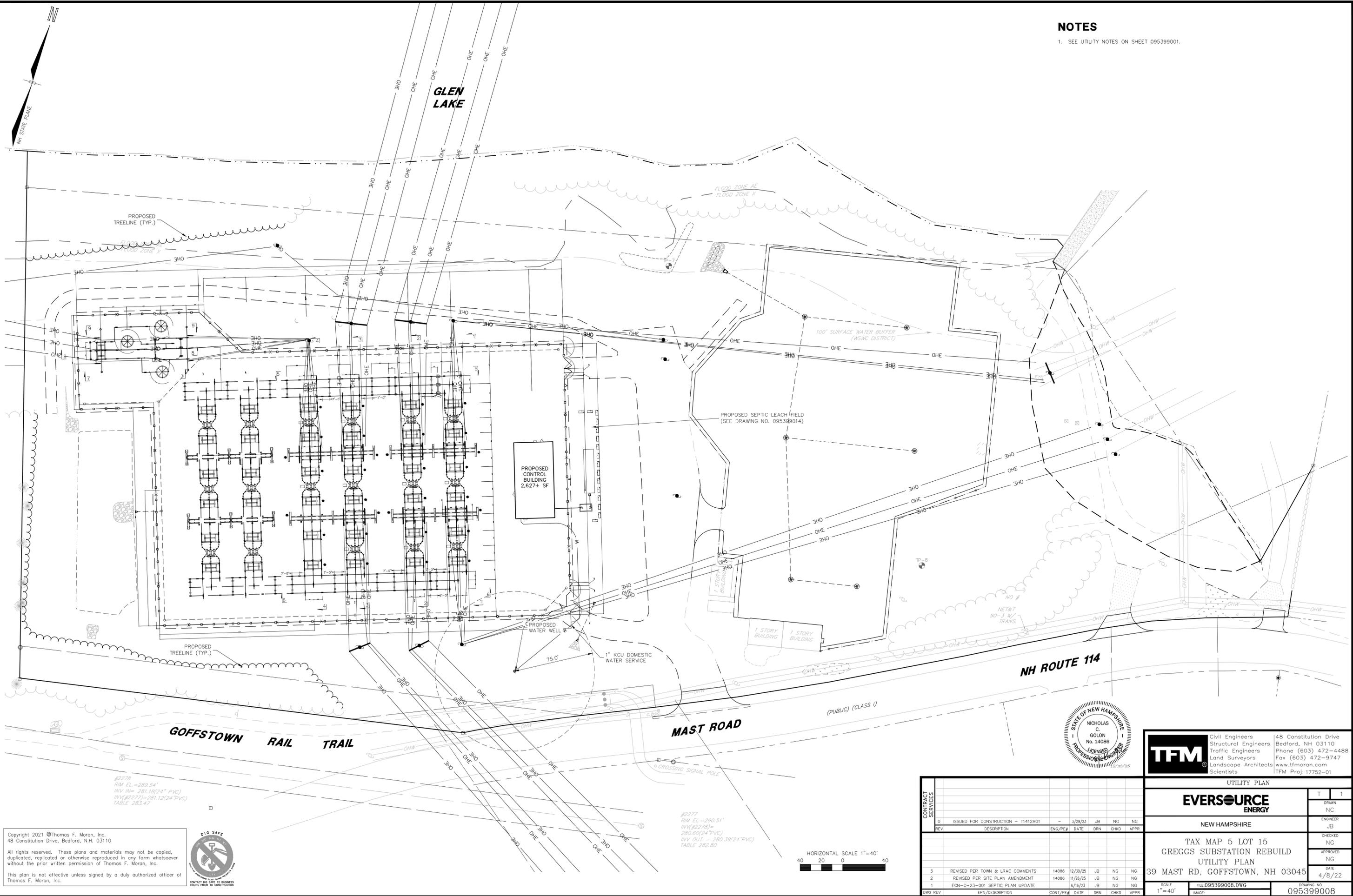
TAX MAP 5 LOT 15
 GREGGS SUBSTATION REBUILD
 GRADING & DRAINAGE PLAN
 39 MAST RD, GOFFSTOWN, NH 03045

SCALE: 1"=40'
 FILE: 095399007.DWG
 DRAWING NO.: 095399007

T 1
 DRAWN: NC
 ENGINEER: JB
 CHECKED: NG
 APPROVED: NG
 DATE: 4/8/22

NOTES

1. SEE UTILITY NOTES ON SHEET 095399001.



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CONTRACT SERVICES	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
0	ISSUED FOR CONSTRUCTION - T1412A01		3/29/23	JB	NC	NG
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JB	NC	NG
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NC	NG
1	ECN-C-23-001 SEPTIC PLAN UPDATE		6/16/23	JB	NC	NG

UTILITY PLAN

EVERSOURCE ENERGY

NEW HAMPSHIRE

TAX MAP 5 LOT 15
 GREGGS SUBSTATION REBUILD
 UTILITY PLAN
 39 MAST RD, GOFFSTOWN, NH 03045

DATE: 4/8/22

SCALE: 1"=40'
 FILE: 095399008.DWG
 DRAWING NO.: 095399008



GLEN LAKE

CONSTRUCTION GENERAL PERMIT

- THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), MUST OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA). AS PART OF THE CGP, A STORMWATER NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI MUST BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), USEPA, 1200 PENNSYLVANIA AVE, WASHINGTON, DC 20460.
- THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP'S), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9545 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. FOR FURTHER ASSISTANCE, CONTACT ABBY SWAINE OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1841.

NOTES

- IT IS BEING PROPOSED TO TO CONSTRUCT A SUBSTATION YARD, INSTALL ELECTRIC EQUIPMENT UPGRADES, AND A CONTROL BUILDING WITH ASSOCIATED SITE IMPROVEMENTS ADJACENT TO THE EXISTING EVERSOURCE ENERGY GREGGS SUBSTATION.
- TOTAL SITE AREA: 11.3 AC
TOTAL AREA OF DISTURBANCE: 4.67 AC (SUBSTATION REBUILD)/5.06 AC (AMENDED SITE PLAN)
- SOILS SHOWN ARE FROM THE SOIL SURVEY OF HILLSBOROUGH COUNTY, NH, EASTERN PART, PREPARED BY USDA-SOIL CONSERVATION SERVICES:
HSA - HINCKLEY LOAMY SAND, 0% - 3% SLOPES
HSD - HINCKLEY LOAMY SAND, 15% - 35% SLOPES
- STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN. SEE GRADING & DRAINAGE PLAN FOR RIM, INVERT, PIPE LENGTH, AND SLOPE INFORMATION.
POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.63
IMPERVIOUS SURFACE AREA: 0.24± AC
- STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS:

TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTURBED FOR 14 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1 LBS PER 1,000 SF. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING LOAMY SAND, 0% - 3% SLOPES UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL CONSIST OF 0.45 LBS/1,000 SF TALL FESCUE, 0.20 LBS/1,000 SF CREEPING RED FESCUE, AND 0.20 LBS/1,000 SF BIRDSFOOT TROFOLI. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE IF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.

STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL
SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY OTHERS. POSTS SHALL BE USED WITH AT LEAST 6" OF THE POST BURIED BELOW THE GROUND SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.

SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 6" OF THE FABRIC BURIED BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.

STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20'-WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND HAVE A DEPTH OF 12" OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEEPED ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

CATCH BASINS - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH BASIN SUMPS.

CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND WITHIN THE PARKING AREA AND GRASS.

BLANKET SLOPE PROTECTION - SHALL BE INSTALLED ON ALL 2:1 SLOPES OR STEEPER ON SITE. ANCHOR THE TOP OF THE BLANKET BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH, BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET IN THE DIRECTION OF STORM WATER FLOW. WHERE 2 OR MORE STRIPS OF BLANKET ARE REQUIRED, A MINIMUM OF 4" OF OVERLAP SHALL BE PROVIDED.

STONE CHECK DAMS - WILL BE INSTALLED IN EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.

- STORM WATER MANAGEMENT
STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE COLLECTED BY AN OPEN AND CLOSED DRAINAGE SYSTEM. APPROXIMATELY 4.17± ACRES OF THE 11.3 ACRE SITE WILL REMAIN UNTOUCHED AND IN ITS NATURAL STATE.
- ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.
- THRUST BLOCK SHALL BE PROVIDED WHERE WATER LINE CHANGES DIRECTION OR TAPS INTO EXISTING WATER LINE.
- A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON

RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE EPA SHALL TAKE THE FOLLOWING STEPS:
- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675
- WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
- MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.

GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:
- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB;
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL;
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER;
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED;
- TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE WATERTIGHT LID AND BE PLACED AWAY FROM STORMWATER CONVEYANCES AND DRAINS.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS:
THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION;
- IF SURPLUS PRODUCT MUST BE DISPOSING OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES:
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
PETROLEUM PRODUCTS:
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:
THE CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

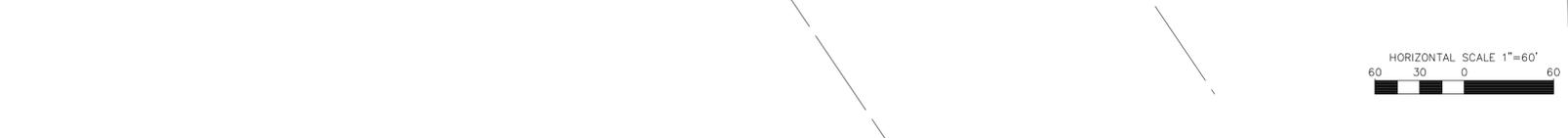
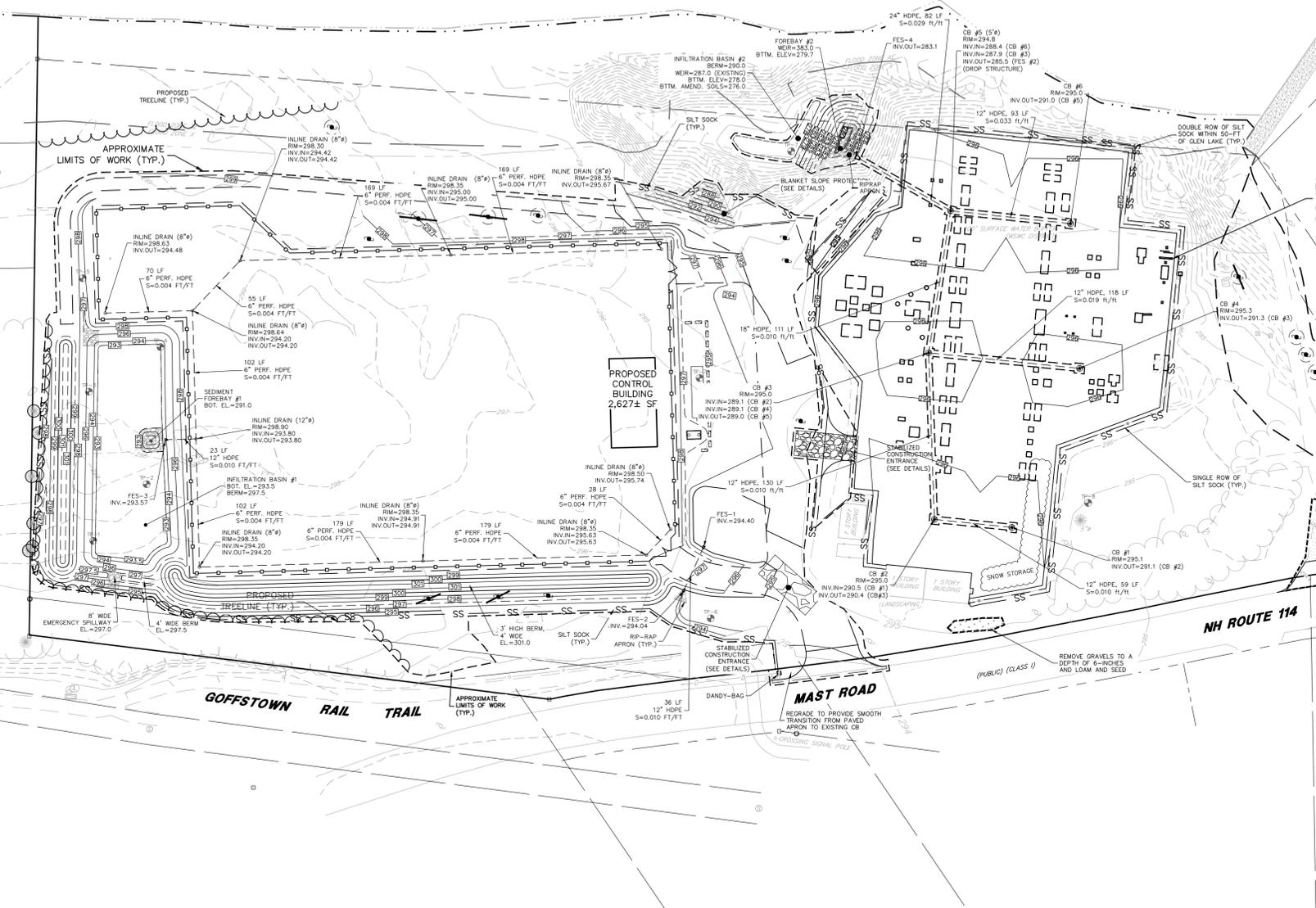
CONCRETE TRUCKS:
EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE DISPOSED OF USING BEST MANAGEMENT PRACTICES. BUILDING CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRUM WASH WATER ASSOCIATED WITH CONCRETE FOR THE BUILDING PAD. SITE CONTRACTOR TO COORDINATE AND PROVIDE BUILDING CONTRACTOR WITH AN AREA FOR DRUM WASH WATER.

SPILL CONTROL PRACTICES:
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

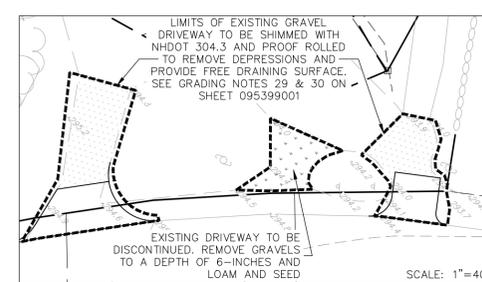
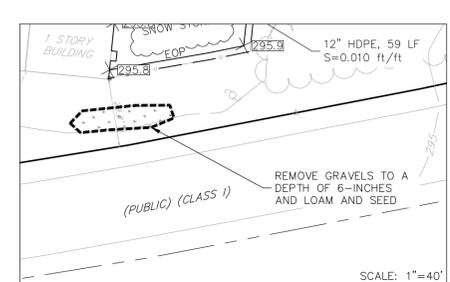
- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.

12. THE CONTRACTOR OR OWNER SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5" OR GREATER. INSPECTION REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.



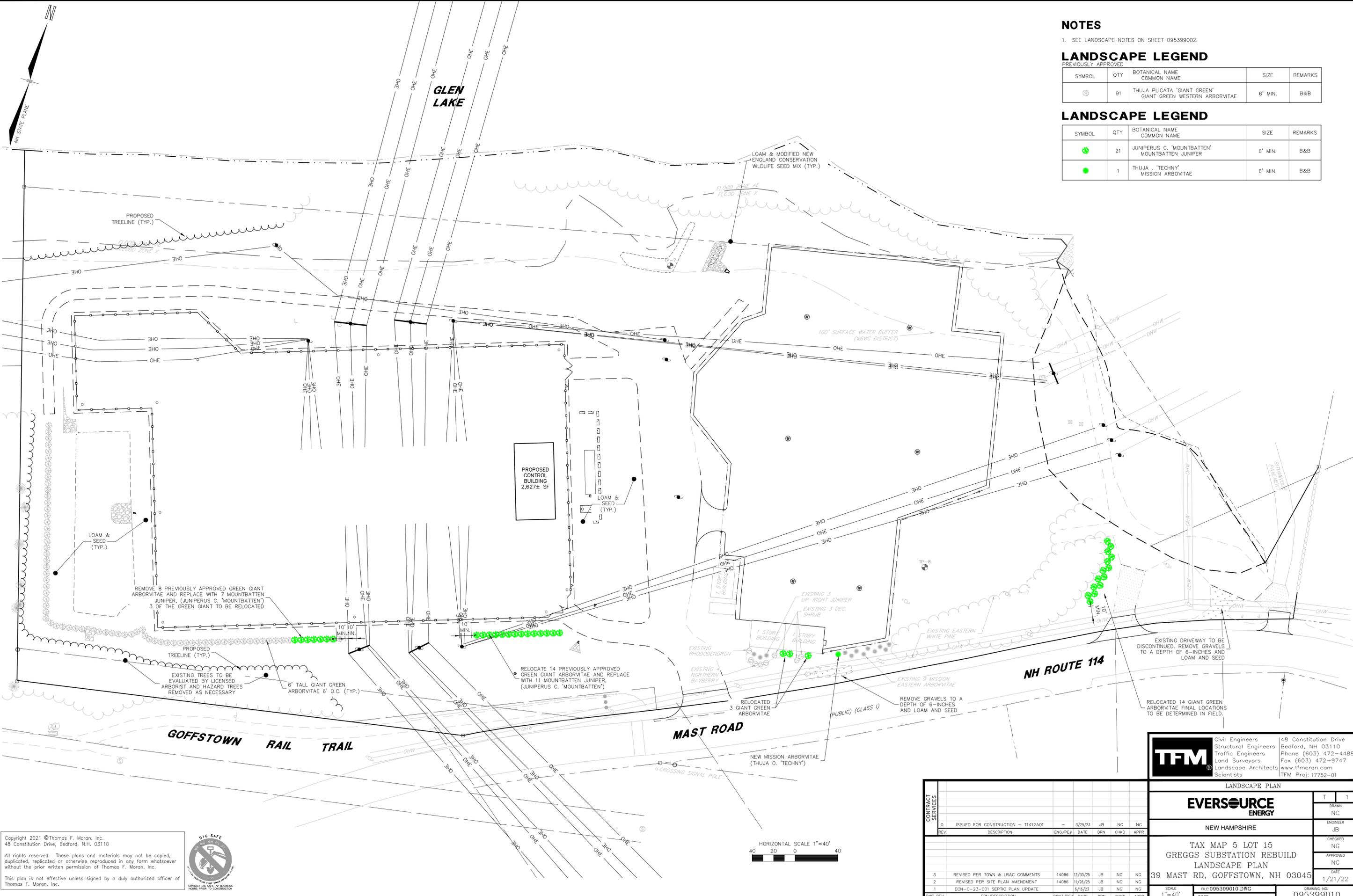
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CONTRACT SERVICES	DESCRIPTION	ENG/PE#	DATE	DRN	CHKD	APPR
0	ISSUED FOR CONSTRUCTION - T1412A01		3/29/23	JB	NC	NG
4	REVISED PER NHDES SUBMITTALS	14086	1/26/26	JB	NC	NC
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JB	NC	NC
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NC	NC
1	ECN-C-23-001 SEPTIC PLAN UPDATE		6/7/23	JB	NC	NG

STATE OF NEW HAMPSHIRE
NICHOLAS C. GOLON
LICENSED PROFESSIONAL ENGINEER
148 Constitution Drive
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Phone (603) 472-4488
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www.tfmoran.com
TFM Proj: 17752-01

STORMWATER MANAGEMENT PLAN
EVERSOURCE ENERGY
NEW HAMPSHIRE
TAX MAP 5 LOT 15
GREGGS SUBSTATION REBUILD
STORMWATER MANAGEMENT PLAN
39 MAST RD, GOFFSTOWN, NH 03045
SCALE: VARIES
FILE: 095399009.DWG
DRAWING NO: 095399009



NOTES

1. SEE LANDSCAPE NOTES ON SHEET 095399002.

LANDSCAPE LEGEND

PREVIOUSLY APPROVED

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	91	THUJA PLICATA 'GIANT GREEN' GIANT GREEN WESTERN ARBORVITAE	6' MIN.	B&B

LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	21	JUNIPERUS C. 'MOUNTBATTEN' MOUNTBATTEN JUNIPER	6' MIN.	B&B
	1	THUJA O. 'TECHNY' MISSION ARBORVITAE	6' MIN.	B&B

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TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JB	NC	NG
2	REVISED PER SITE PLAN AMENDMENT	14086	11/26/25	JB	NC	NG
1	ECN-C-23-001 SEPTIC PLAN UPDATE		6/16/23	JB	NC	NG

LANDSCAPE PLAN

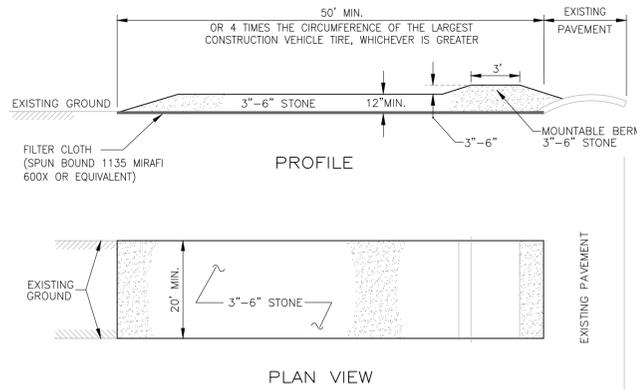
EVERSOURCE ENERGY

NEW HAMPSHIRE

TAX MAP 5 LOT 15
GREGGS SUBSTATION REBUILD
LANDSCAPE PLAN
39 MAST RD, GOFFSTOWN, NH 03045

SCALE: 1"=40'
FILE: 095399010.DWG
DRAWING NO.: 095399010

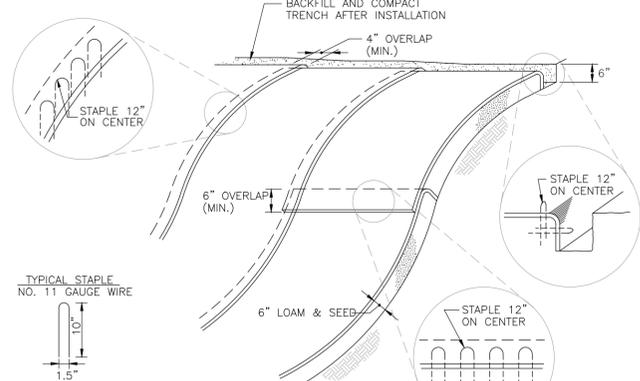
T	1
DRWN	NC
ENGINEER	JB
CHECKED	NG
APPROVED	NG
DATE	1/21/22



- NOTES**
1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
 2. NO SURFACE WATER SHALL BE DIRECTED TOWARD CONSTRUCTION ENTRANCES.
 3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

STABILIZED CONSTRUCTION ENTRANCE

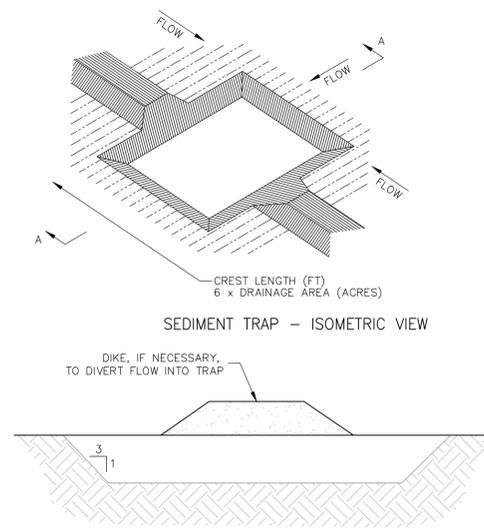
SEE PLAN FOR PROPOSED LOCATION NOT TO SCALE



1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
4. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
5. BLANKET SHALL BE NORTH AMERICAN GREEN C125BM, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANCA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-OCF 30, OR APPROVED EQUAL.

BLANKET SLOPE PROTECTION

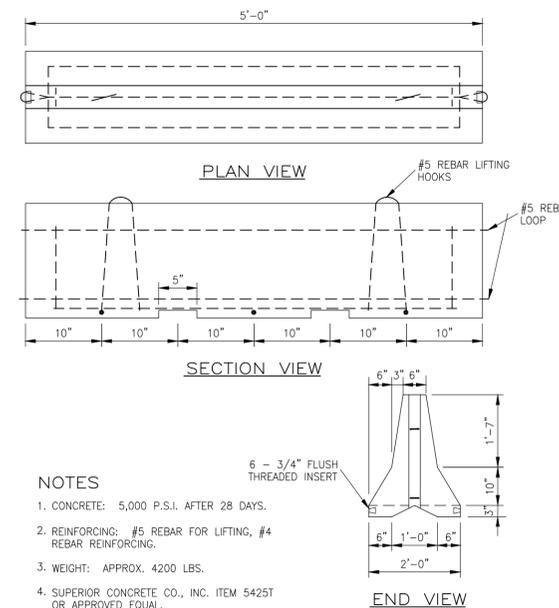
FOR EROSION CONTROL NOT TO SCALE



- NOTES**
1. SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.

SEDIMENT TRAP

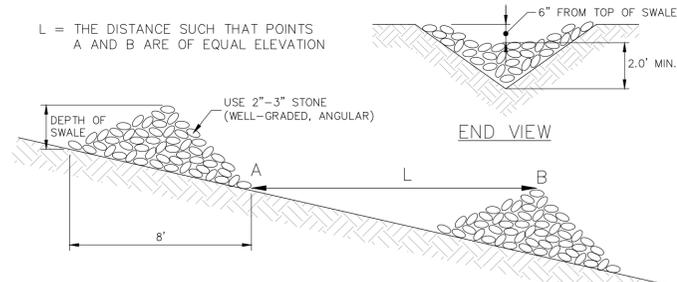
NOT TO SCALE



- NOTES**
1. CONCRETE: 5,000 P.S.I. AFTER 28 DAYS.
 2. REINFORCING: #5 REBAR FOR LIFTING, #4 REBAR REINFORCING.
 3. WEIGHT: APPROX. 4200 LBS.
 4. SUPERIOR CONCRETE CO., INC. ITEM 5425T OR APPROVED EQUAL.

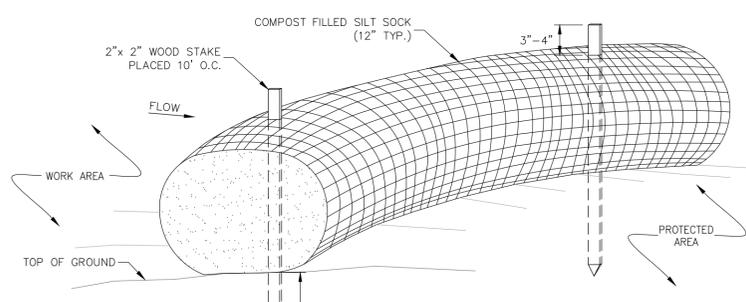
CONCRETE BARRIER

NOT TO SCALE



STONE CHECK DAM

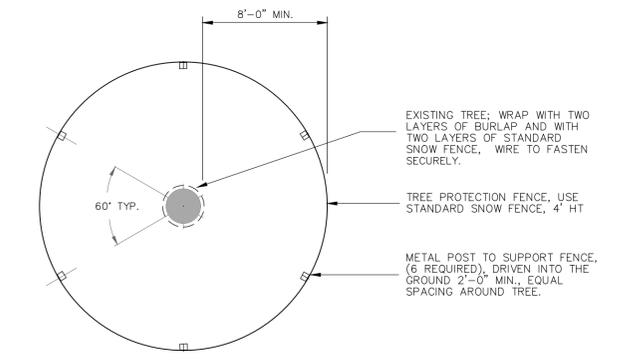
IF NECESSARY NOT TO SCALE



- NOTES**
1. SILT SOCK SHALL BE FILTRETXXw SILTSOXXw NATURAL ORIGINALw (BIODEGRADABLE) OR APPROVED EQUIVALENT.
 2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
 3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
 4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

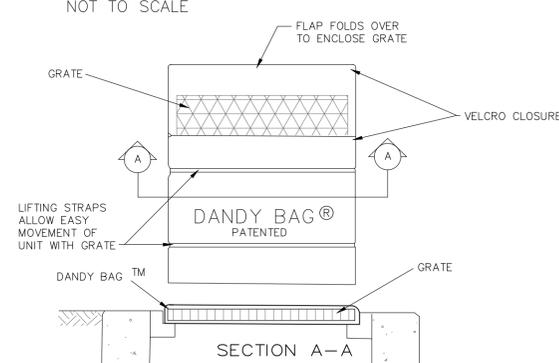
SILT SOCK

NOT TO SCALE



TREE PROTECTION

NOT TO SCALE



INSTALLATION
STAND GRATE ON END. PLACE DANDY BAG OVER GRATE AND ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SACK. TUCK FLAP IN, PRESS VELCRO STRIPS TOGETHER. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT WORK PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME.

MAINTENANCE
WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL REMOVE SILT & OTHER DEBRIS OFF SURFACE AFTER EACH EVENT. REMOVE FINE MATERIAL FROM INSIDE ENVELOPE AS NEEDED. (CONTACT DANDY PRODUCTS INC. 1-800-591-2284)

DANDY BAG DETAIL

NOT TO SCALE



LOAM & SEED DETAIL

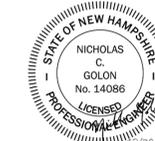
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TYPICAL POLE BUNKER

NOT TO SCALE

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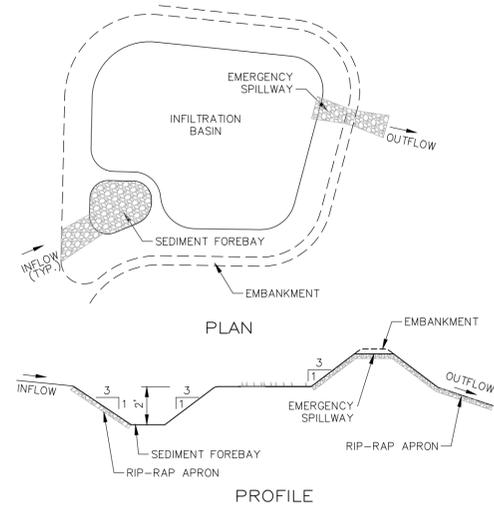
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Structural Engineers Bedford, NH 03110
Traffic Engineers Phone (603) 472-4488
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Scientists TFM Proj: 17752-01

CONTRACT SERVICES		DETAILS				T	O
0	ISSUED FOR CONSTRUCTION - T1412A01	3/29/23	JB	NC	NG		
3	REVISED PER TOWN & LRAC COMMENTS	14086	12/30/25	JB	NC	NG	
DWG REV	EPN/DESCRIPTION	CONT/PE#	DATE	DRN	CHKD	APPR	

EVERSOURCE ENERGY		SCALE	FILE:095399011.DWG	DRAWING NO.
NEW HAMPSHIRE		AS NOTED	IMAGE:	095399011
TAX MAP 5 LOT 15 GREGGS SUBSTATION REBUILD DETAILS		DATE 4/8/22		
39 MAST RD, GOFFSTOWN, NH 03045				

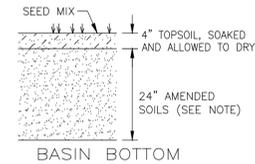
INFILTRATION BASIN NOTES

- 1. WITHIN AREA OF PROPOSED INFILTRATION BASIN REMOVE LOAM LAYERS ENCOUNTERED DURING EXCAVATION TO ELEV=290.5 AND REPLACE WITH LOOSE GRANULAR SOIL TYPICAL OF SITE (HINKLEY SAND) TO ELEV=291.5.
2. THE INSTALLER SHALL NOT ALLOW ANY VEHICULAR OR CONSTRUCTION EQUIPMENT TRAVEL TO OCCUR ACROSS THE PROPOSED BASIN AREA AT ANY TIME EXCEPT DURING EXCAVATION OF TOPSOIL, SUBSOIL AND OTHER MATERIALS NOT SUITABLE FOR BED BOTTOM CONDITIONS.
3. CAUTION SHOULD BE EXERCISED DURING SITE PREPARATION TO AVOID COMPACTION OF THE INFILTRATIVE SURFACE.
4. SEED MIX NEW ENGLAND ROADSIDE MATRIX WET MEADOW SEED MIX (MIN. 35 LBS/ACRE)
5. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BASIN.
6. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
7. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
8. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

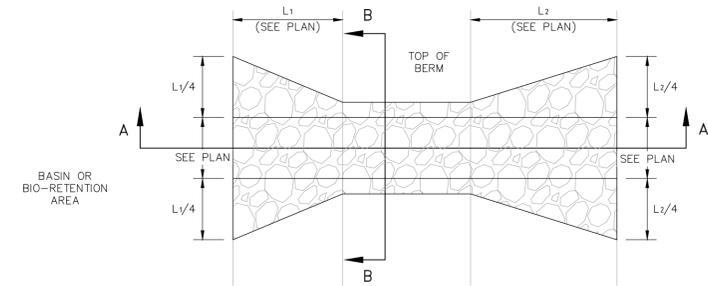


INFILTRATION BASIN

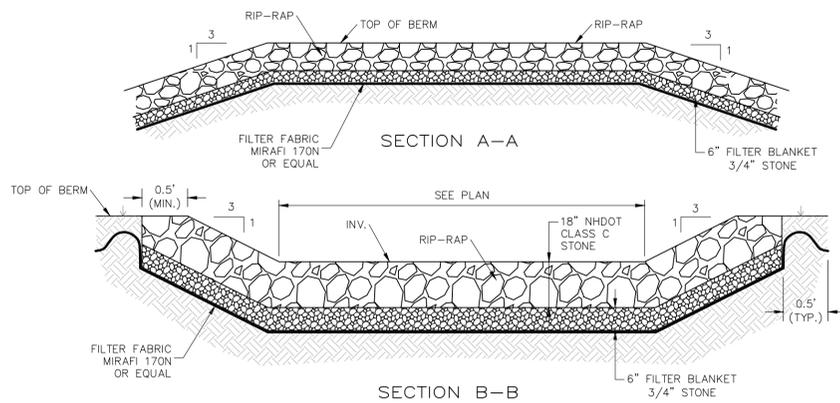
NOT TO SCALE



AMENDED SOIL NOTE
1. CERTIFIED SOIL SCIENTIST, ENGINEER OR PROFESSIONAL GEOLOGIST TO CONFIRM INFILTRATION RATE OF AMENDED SOIL IN ACCORDANCE WITH ENV-WO, 1504.14(e). RESULTS TO BE SUBMITTED TO NHDES WITHIN 7 DAYS OF TESTING



PLAN VIEW



SECTION B-B

Table with 3 columns: SPILLWAY, TOP OF BERM EL., SPILLWAY INV. and 1 row of data for Infiltration Basin #1.

EMERGENCY SPILLWAY

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

PREPARE BEDDING: BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION. EXCAVATE AN AREA IN THE BEDDING WHERE THE TOE TROUGH WILL SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.
PLACE END SECTION OF PIPE: OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THAT THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.
SECURE THE END SECTION: SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.
SECURE THE TOE TROUGH: TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.
FINISH BACKFILL: SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 9 INCH LAYERS EQUALLY ON BOTH SIDES, KNIFING IT TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.

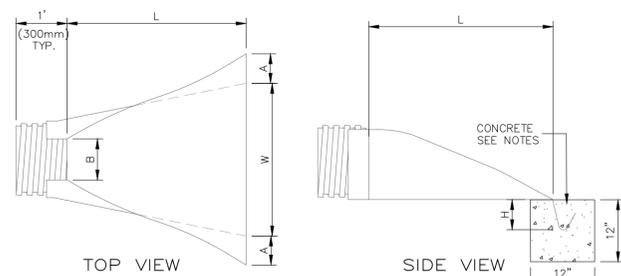
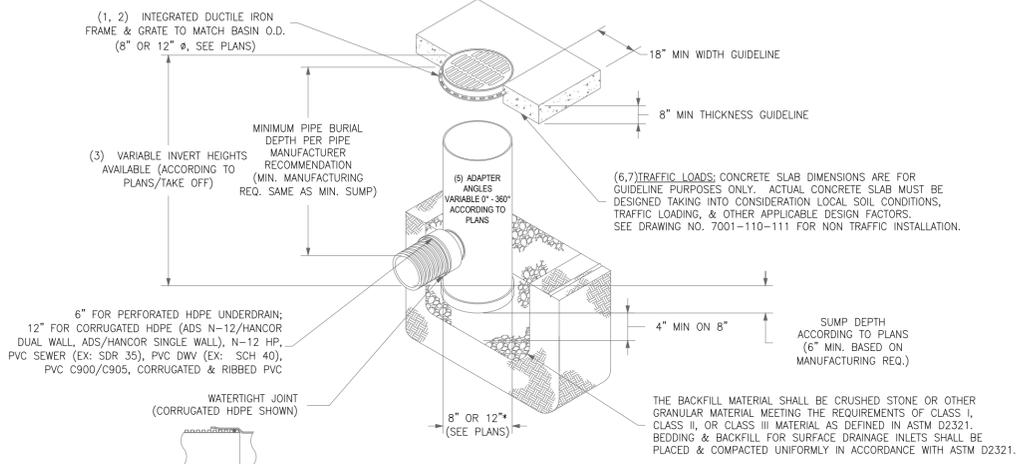


Table with columns: PIPE DIAMETER, PART NO., A, ±1 (25), B MAX, H, ±1 (25), L, ±1/2 (13), W, ±2 (50). Rows list various pipe sizes and their dimensions.

FLARED END SECTION

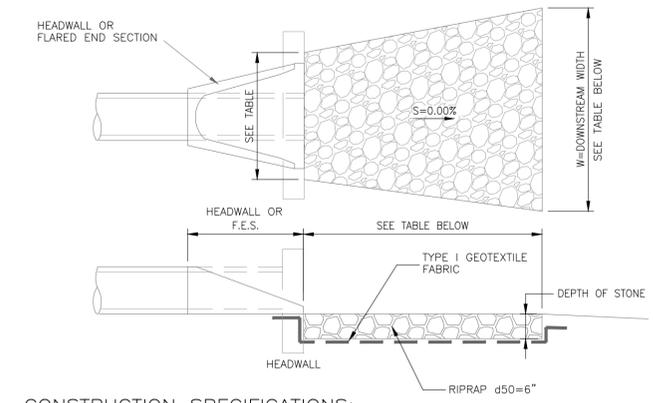
HIGH DENSITY POLYETHYLENE (HDPE)



ADS DRAIN BASIN

IN-LINE DRAIN

NOT TO SCALE



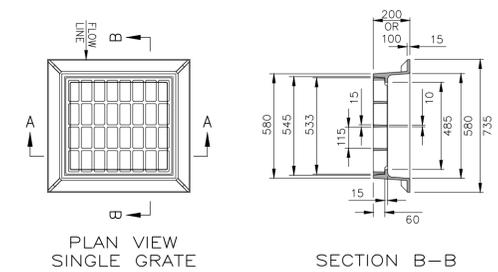
CONSTRUCTION SPECIFICATIONS:

- 1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK USED FOR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

OUTLET APRON

NOT TO SCALE

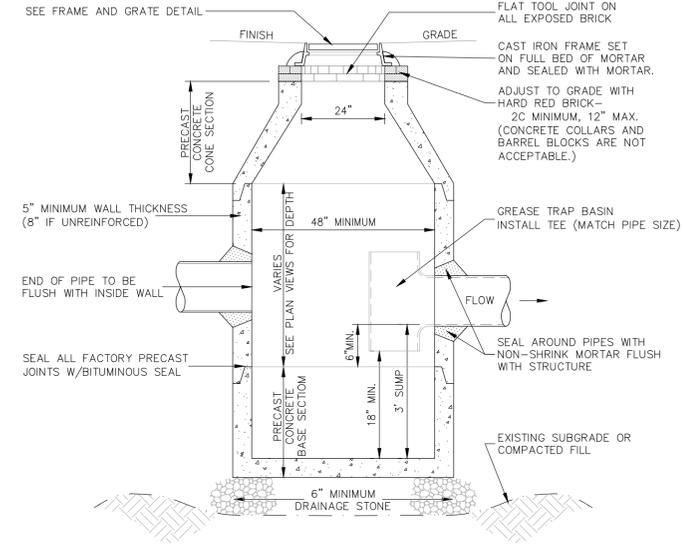
Table with columns: OUTLET, L, Wup, Wdown. Rows list outlet sizes FES-2, FES-3, and FES-4.



NOTES
ALL DIMENSIONS ARE IN MILLIMETERS.
FRAME AVAILABLE IN 100 OR 200 mm HEIGHTS.
FREE OPEN AREA = 0.22 m^2
USE 3/8 FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.

FRAME AND GRATE

NHDOT TYPE B

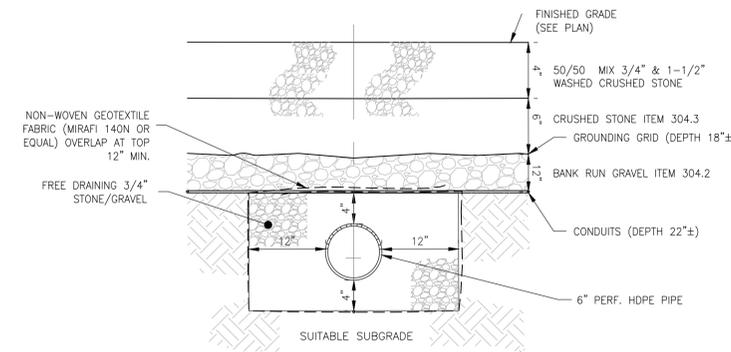


NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

CATCH BASIN

CONCENTRIC CONE

NOT TO SCALE



UNDER DRAIN TRENCH

NOT TO SCALE

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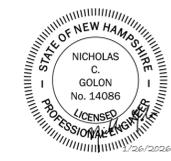
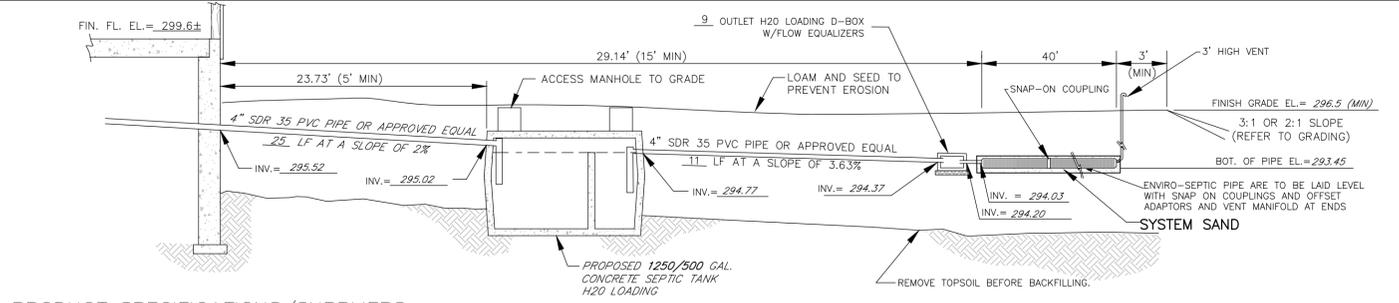


Table with columns: CONTRACT SERVICES, REV, DESCRIPTION, ENG/PE#, DATE, DRN, CHKD, APPR. Rows show revision history for construction and site plan amendment.

Project details including Eversource Energy logo, project name (NEW HAMPSHIRE TAX MAP 5 LOT 15 GREGGS SUBSTATION REBUILD DETAILS), location (39 MAST RD, GOFFSTOWN, NH 03045), drawing number (095399013), and date (4/8/22).



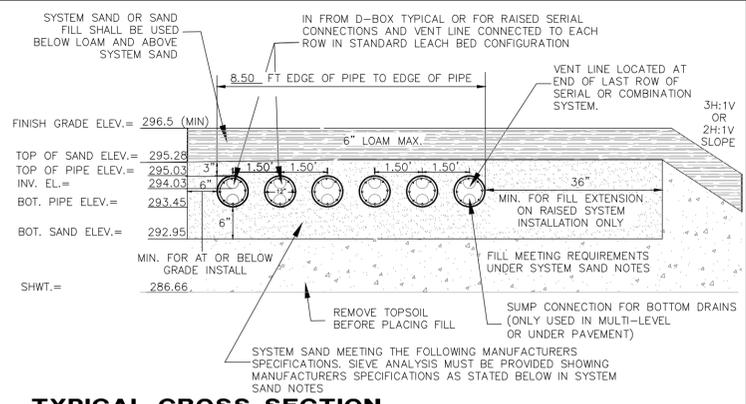
PRODUCT SPECIFICATIONS/SUPPLIERS

- CONCRETE PRODUCTS ARE TO BE SUPPLIED BY PHOENIX PRECAST PRODUCTS OR APPROVED EQUAL.
- D-BOX FLOW EQUALIZERS ARE TO BE SUPPLIED BY POLYLOCK INC.

THIS DOCUMENT HAS BEEN PREPARED TO ASSIST IN THE CONSTRUCTION OF AN EFFLUENT DISPOSAL SYSTEM. PERSONS USING THIS DOCUMENT FOR PURPOSES OTHER THAN THE CONSTRUCTION OF AN EFFLUENT DISPOSAL SYSTEM DO SO AT THEIR OWN RISK. TO THE BEST OF MY KNOWLEDGE THIS PLAN CONFORMS TO ALL TOWN REGULATIONS.

TYPICAL SECTION OF PROPOSED EFFLUENT DISPOSAL SYSTEM (EDS)

NOT TO SCALE



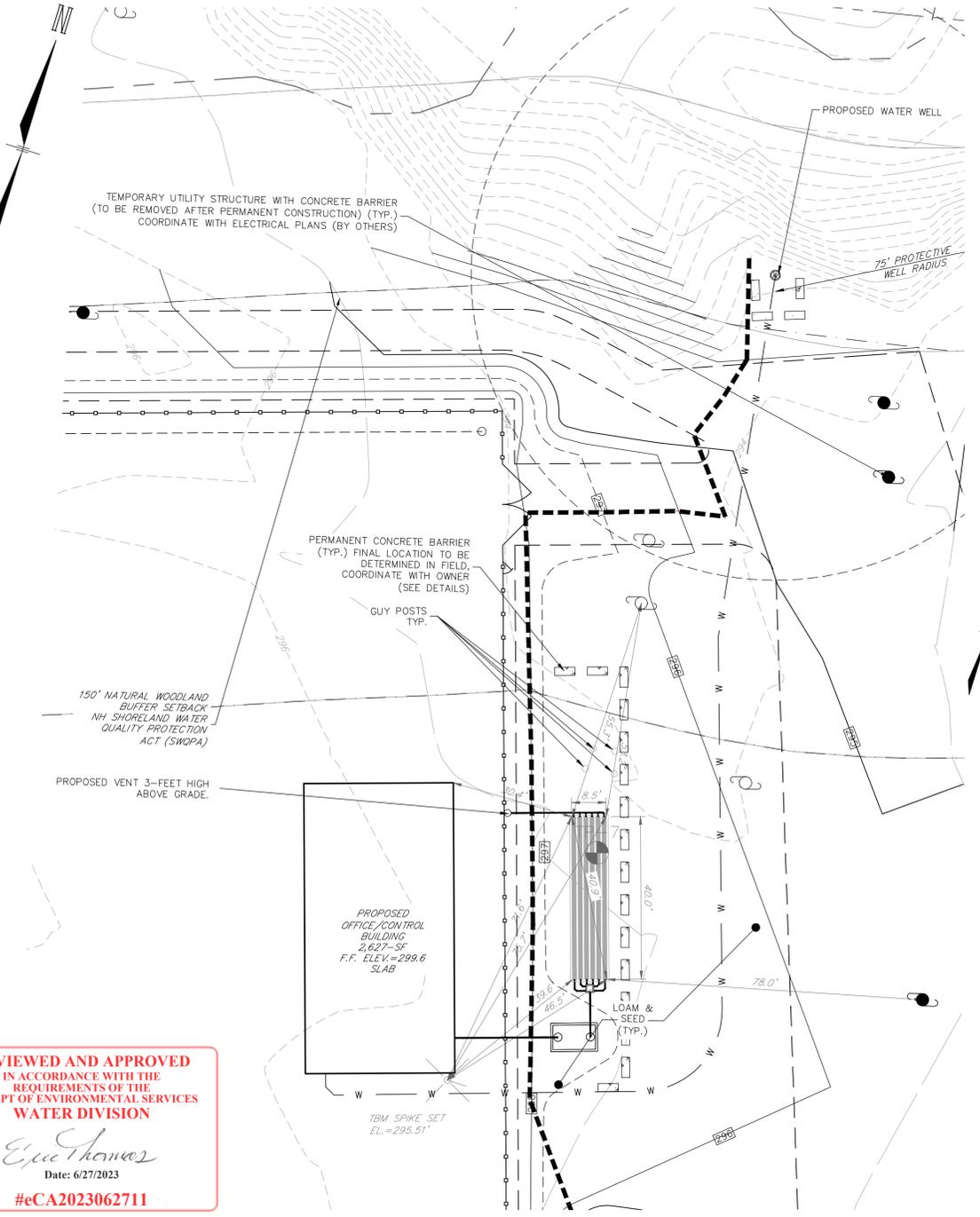
TYPICAL CROSS SECTION

NOT TO SCALE

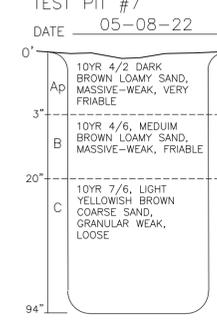
- NOTES**
- THIS IS NOT A PROPERTY LINE SURVEY. ALL PROPERTY LINES TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - INSTALLER SHALL NOT ALLOW ANY VEHICULAR TRAVEL TO OCCUR ACROSS THE PROPOSED EFFLUENT DISPOSAL AREA (EDA) AREA AT ANY TIME EXCEPT DURING THE CONSTRUCTION OF THE EDA.
 - NO OPEN WATER OR VERY POORLY DRAINED SOILS WITHIN 75' OF THIS PROPOSED ISDS OR ITS COMPONENTS.
 - NO POORLY DRAINED SOILS WITHIN 50' OF THIS PROPOSED ISDS OR ITS COMPONENTS. ALL TANK/CHAMBER PENETRATIONS SHALL BE BOOTED AND REQUIRE STAINLESS STEEL STRAPS. TANK/CHAMBER JOINTS SHALL BE SEALED WITH A CONSEAL TYPE SEAL FOR WATER TIGHTNESS.
 - THIS DESIGN DOES NOT PROVIDE FOR THE USE OF A GARBAGE GRINDER OR HIGH WATER USE FIXTURES. BUILDINGS ON HIGH PRESSURE OFFSITE WATER SYSTEMS SHALL HAVE A WATER REGULATOR INSTALLED REDUCING THE FLOW TO 45-50 PSI MAXIMUM.
 - CAUTION IS TO BE EXERCISED DURING FILL PLACEMENT/SITE PREPARATION TO AVOID COMPACTION OR SMearing OF THE INFILTRATIVE SURFACE. SYSTEM SAND/FILL MATERIAL SHOULD BE MIXED INTO UNDERLYING SOIL WITH EXCAVATOR TEETH TO AVOID ABRUPT MATERIAL CHANGES.
 - MAINTAIN 12 INCHES OF FILL BETWEEN EQUIPMENT TRACKS AND PREPARED SURFACE. DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS CONTRARY TO THOSE DEPICTED ON THIS PLAN.
 - PROPOSED WATER SERVICE IS SUPPLIED BY ON-SITE WELL.
 - NO FOUNDATION DRAINS ARE PROPOSED.
 - ALL PIPING IS TO BE 4" SCH. 40 PVC UNLESS OTHERWISE SPECIFIED ON PLANS.
 - METAL MARKING TAPE MUST BE LAID OVER COMPONENTS.
 - THE INTENT IS TO CONSTRUCT A NEW SEPTIC SYSTEM INCLUDING TANKS AND LEACH BED AREA.
 - INSTALLER TO VERIFY WHETHER AN INSPECTION IS REQUIRED BY LOCAL HEALTH INSPECTOR AND/OR NHDES FOR THE FOLLOWING:
BED BOTTOM INSPECTION AND/OR INSPECTION OF ENTIRE FIELD, D-BOX & TANKS PRIOR TO BACKFILLING AND LOAM PLACEMENT.
 - RSA 289:3, III, THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100 FEET OF ANY COMPONENT OF THE ISDS.
 - SYSTEM SAND SHALL BE USED FOR THE FIRST 6-INCHES DIRECTLY BELOW THE PIPE, IN-BETWEEN ALL PIPES, 3-INCHES ABOVE THE PIPES AND EXTENDING LATERALLY ACROSS THE FILL EXTENSION (3' MIN.). SYSTEM SAND SHALL CONSIST OF PRESBY ENVIRONMENTAL SYSTEM SAND SPECIFICATIONS AS LISTED BELOW:

SYSTEM SAND CONTENTS REFERENCE	PER SPECS (BY WEIGHT)	PARTICLE SIZE (METRIC)	PARTICLE SIZE (INCHES)	SIEVE #
GRAVEL UP TO 3/4"	0-35%	2-76 MM	0.08-0.75 IN.	PASSES 3/4 IN. RETAINED #10
SAND (COARSE & VERY COARSE)	40-90%	0.5-2.0 MM	0.0196-0.079 IN.	PASSES #10 RETAINED #35
FINES (SILT/CLAY)	< 2%	< .075 MM	< .0029 IN.	PASSES #200

- SYSTEM SAND SHALL HAVE A PERC RATE OF NOT GREATER THAN 2 MIN./IN. AREA OF FILL SHALL BE THE PROPOSED EDA AREA AND 3' AROUND, TO THE ORIGINAL GRADE FOR A RAISED SYSTEM AND 6" AROUND FOR AN IN-THE-GROUND SYSTEM. IN A RAISED SYSTEM THE FINISHED GRADE OVER THE BED SHALL EXTEND FOR A MINIMUM OF 3 FEET HORIZONTALLY BEYOND THE OUTER MOST PIPES BEFORE STARTING TO SLOPE; AND BE COVERED BY 4 TO 6 INCHES OF LOAM SUITABLE FOR SEEDING. THE SIDES OF A RAISED EDA SHALL TAPER AT A 3:1 OR 2:1 SLOPE AND STABILIZED BY BEING COVERED WITH AT LEAST 4 INCHES OF LOAM THAT IS SEEDED IMMEDIATELY; AT LEAST 3 INCHES OF BARK MULCH; OR OTHER MATERIAL THAT WILL PREVENT EROSION AND LEAD TO LONG-TERM STABILITY OF THE SLOPES WITHOUT INTERFERING WITH VENTILATION, SUCH AS AN EROSION CONTROL BLANKET.
- FILL REQUIRED TO RAISE THE EDA TO THE APPROVED DISTANCE ABOVE THE SEASONAL HIGH GROUND WATER TABLE OR IMPERVIOUS SUBSTRATUM SHALL BE CLEAN BANK RUN SAND, FREE OF TOPSOIL OR HUMUS, DRUDGINGS, OR STONES MORE THAN 6 INCHES IN ANY DIMENSION. FILL USED TO CREATE A RECEIVING LAYER IN ACCORDANCE WITH THIS SECTION SHALL CONTAIN NO TREE STUMPS, SANDWUST, WOOD CHIPS, TREE BARK, BRICKS, ASPHALT, CONCRETE, METAL, WALLBOARD, CONSTRUCTION DEBRIS, OR OTHER SUCH NON-SOIL MATERIALS. THE FIRST 6 INCHES DIRECTLY BENEATH THE BED BOTTOM (6" BELOW PRESBY SAND FOR PRESBY SYSTEMS) AND EXTENDING LATERALLY ACROSS THE FILL EXTENSION SHALL CONSIST OF MATERIALS MEETING THE ASTM C-33 SPECIFICATION, HAVE A PERCOLATION RATE OF NOT GREATER THAN 15 MINUTES PER INCH AFTER PLACEMENT AND COMPACTION, AND BE HOMOGENEOUS, AND IF BEDDING PLANES OR OTHER DISCONTINUITIES ARE PRESENT, THE APPLICANT SHALL SUBMIT DETAILED SOIL ANALYSIS FROM A PERSON OR LABORATORY QUALIFIED TO PERFORM THE ANALYSIS WITH THE APPLICATION TO ESTABLISH THAT THE FILL MEETS THE ABOVE CRITERIA.



TEST PIT DATA



ESHW: 94"+
OW: N/O
ROOTS: N/O
LEDGE: 94"+
PERC. TEST: 4 MIN/IN @ 24"

SOIL DATA

HILLSBOROUGH COUNTY, NEW HAMPSHIRE, EASTERN PART VIA WEB SOIL SURVEY ON 5-18-2022
H8a-HINCKLEY LOAMY SAND, 0 TO 3 PERCENT SLOPES
H8d-HINCKLEY LOAMY SAND, 15 TO 35 PERCENT SLOPES

LOT LOADING

11.99 ACRES

WETLAND NOTE

NO WETLANDS WERE LOCATED IN ACCORDANCE WITH ENV-WQ 1014.06 BY MATTHEW R. ROUTHIER, DESIGNER # 1740 ON 03/22/2022.

SEPTIC TANK SIZING

NHDES REQ'D: 1,250 GAL. (300-600 GPD) = 1,250 GAL.
PROVIDED: (1) 1,250/500 TANK = 1,250 GAL.

SYSTEM REPLACEMENT

IF SYSTEM FAILURE OCCURS, THE SYSTEM IS TO BE REBUILT IN SAME LOCATION.

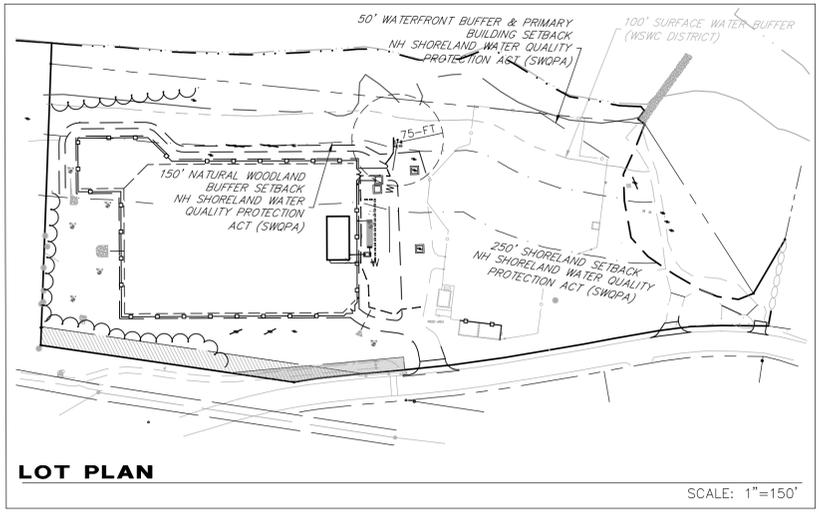
DESIGN DATA

NHDES: 2,627-SF/100 SF = 26.27 * 5 GPD = 1,31.35 GPD (300 GPD MIN. REQ'D) 425-SF REQ'D @ 4 MIN. PERC
ENVIRO-SEPTIC REQUIRES 141 LF AT 4 MIN PERC RATE FOR 300 GPD UNSPECIFIED OFFICE
PROPOSED IS 240 LF AT 8.5" X 40.0" EDGE OF PIPE TO EDGE OF PIPE, 6 LINES, 40' LONG, 1.50' CTR TO CTR.

DESIGN INTENT

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT 293.45 ELEVATION, AND THERE IS APPROXIMATELY 0.55 FT. BELOW ORIGINAL GROUND ON THE HIGH CONTOUR (ELEV 294.0) OF THE DESIGNED EDS.

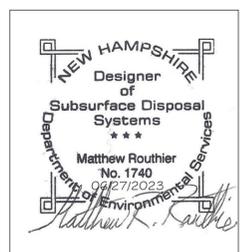
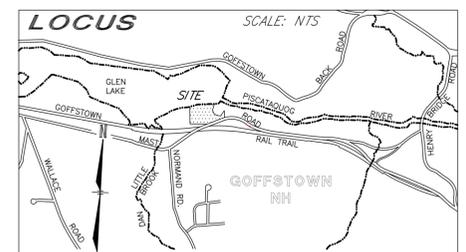
SUBDIVISION APPROVAL NO. PRE 196Z
PREVIOUS CONSTRUCTION APPROVAL NO. ECA2022091503 DATED: 09/15/2022
PREVIOUS OPERATIONAL APPROVAL DATE: N/A



LOT PLAN

SCALE: 1"=150'

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REVIEWED AND APPROVED
IN ACCORDANCE WITH THE
REQUIREMENTS OF THE
NH DEPT OF ENVIRONMENTAL SERVICES
WATER DIVISION

Eric Thomas
Date: 6/27/2023
#eCA2023062711

REVISED EFFLUENT DISPOSAL SYSTEM							T	O
EVERSOURCE ENERGY							DRN	NC
NEW HAMPSHIRE							ENGINEER	MR
TAX MAP 5 LOT 15 GREGGS SUBSTATION REBUILD EFFLUENT DISPOSAL SYSTEM PLAN 39 MAST RD, GOFFSTOWN, NH 03045							CHECKED	NG
SCALE: AS NOTED							APPROVED	NG
FILE: 17752-01 SEPTIC REV2.DWG							DATE	4/8/22
DRAWING NO. 095399014								